



PUBLIC WORKS COMMITTEE

MEETING November 9, 2021

9:00A.M.

Brighton
Town Hall

AUDITORIUM ROOM

DRAFT AGENDA

MEETING CALLED TO ORDER:

APPROVE MINUTES:

PUBLIC REVIEW OPEN FORUM:

OLD BUSINESS

MATTER RE: Town Hall Renovation RFP

NEW BUSINESS

MATTER RE: Jewish Senior Life Project

MATTER RE: Winfield Park Subdivision

MATTER RE: South Winton Road Gas Main Replacement Project – Night Work

MATTER RE: 2021 Cannabis Local Law Amendment

TREES

MATTER RE:

Address	Description	Recommendation
44 St. Regis North	40" Silver Maple	Remove and Replace
87 St. Regis North	40" Silver Maple	Remove and Replace
87 St. Regis North	40" Silver Maple	Remove and Replace
87 St. Regis North	40" Silver Maple	Remove and Replace
87 St. Regis North	40" Silver Maple	Remove and Replace
144 St. Regis North	50" Silver Maple	Remove and Replace
197 Mayflower Drive on St. Regis North	50" Silver Maple	Remove and Replace

MEETING ADJOURNED:

NEXT COMMITTEE MEETING:

December 7, 2021 at 9:00 A.M

Jewish Senior Life

1900 Bausch and Lomb Place
Rochester, New York 14604
P 585.987.2800 F 585.454.3968



1900 Main Place Tower
Buffalo, New York 14202
P 716.248.3200 F 716.854.5100

www.woodsoviatt.com

Writer's Direct Dial Number: 585.987.2901

Writer's Direct Fax Number: 585.362.4602

Email: jgoldman@woodsoviatt.com

Admitted to practice in New York and Florida

October 29, 2021

Town Board
Town of Brighton
2300 Elmwood Avenue
Rochester, New York 14618

**Re: Application of Jewish Senior Life
Amended Incentive Zoning Approval –Lot 2 (Summit and Wolk Manor)
PRELIMINARY LETTER OF INTENT**

Dear Board Members:

This office has been retained by Jewish Senior Life to assist in obtaining municipal approvals for the enhancement for its existing facilities on Lot 2 of its campus, the home of the Summit Independent Living and Wolk Manor Assisted Living. The subject property is located on Summit Circle Drive, off Meridian Centre Boulevard, east of South Winton Road and south of the Interstate 590 Expressway.

The additional proposed development on Lot 2 features (1) construction of two four-story buildings, each containing 35 Independent Living dwelling units (named "The Villas") with covered garage spaces on the lowest level of the buildings, framing the Summit Circle Drive entry road off Meridian Center Boulevard, (2) a 4,000 square foot Multi-Purpose Room/Theatre addition on the northeast side of the main Summit building, and (3) a 2,100 square foot fitness addition, as well as ancillary site improvements (roadway and drainage). The current intention is to construct the building east of the driveway first, with the second to be constructed upon lease-out of the first building.

Graphics submitted with this letter are:

1. A single sheet site plan depicting the overall site and project statistics.
2. Color elevations of The Villas.
3. Color elevations of the Multi/Purpose Room/Theatre and Fitness additions. .
4. A view study, placing the new buildings in context of the neighborhood, with viewsheds from off-site.

We are providing this preliminary letter of intent and supplemental materials as an introduction to the project and in anticipation of filing a formal application for Amended Incentive Zoning after input from the Town Board Public Works Committee.

ZONING BACKGROUND

In September of 1996, the Brighton Town Board rezoned the subject property from Residential B (single family) to Residential RHD-2 (high density residential) and granted Incentive Zoning to allow for the construction of the Summit and Wolk Manor.

In August of 2011, the Brighton Town Board approved an Amendment to the Incentive Zoning to add memory units to Wolk Manor.

In March of 2015, the Brighton Town Board, in conjunction with the Incentive Zoning approval for the main Jewish Home Property, removed a parcel (Lot 1) from the Lot 2 Incentive Zoning and combined Lot 1 with the main Jewish Home parcel Incentive Zoning.

Accordingly, the subject property (Lot 2) is a 24.452± parcel that only houses the Summit and Wolk Manor.

THE AMENDED INCENTIVE ZONING APPLICATION

Incentive Zoning is regulated under Chapter 209 of the Town of Brighton Code. The purpose and intent of the Code provisions is to provide a vehicle whereby an applicant can request “incentives” (relief from Town Code provisions) in exchange for “amenities” (public benefits offered by the applicant). Specifically, Section 209-5(A) sets forth information to be provided the applicant in conjunction with an Incentive Zoning application. We will address each of the four (4) subsections below:

1) The proposed amenity:

Typically, amenities first address specific infrastructure or development needs in the immediate area of the proposed project. As a result of the extensive infrastructure work completed in conjunction with the establishment of the “diverging diamond” at the Interstate 590 /South Winton Road intersection and related improvements moving southerly on South Winton Road, the applicant has not identified any specific infrastructure needs to be addressed at this time in the immediate area. An alternative to such improvements is a monetary contribution to the Town (often designated for a specific purpose).

The Town has identified an appropriate capital project in the broader area. At present, the sidewalk on west side of South Winton Road, north of the 590 Expressway terminates about halfway to Westfall Road. It is logical to extend that sidewalk northerly to the southern edge of the Brighton Volunteer Ambulance property (we are told that BVA has committed to participate in extending sidewalks along the frontage of its property). Our project engineer has estimated that the length of sidewalk along South Winton Road to the BVA property line is 1100 linear feet).

2) The cash value of the proposed amenity.

Our engineer has indicated that the cost of sidewalks is approximately \$50 per linear foot for a typical five (5) foot sidewalk. Accordingly, JSI proposes a one-time payment of \$55,000 exchange for the new building height amenities and amendments of existing amenities. (This, of course, is in addition to the annual per unit amenity established in the 1996 Incentive Zoning).

3) A narrative, which:

- a) Describes the benefit to be provided to the community by the proposed amenity.** The proposed amenity would help subvene better pedestrian connectivity within central Brighton.
- b) Gives preliminary indication that there is adequate...(infrastructure)...to handle the additional demands of the incentive...** An engineering narrative is being submitted with this application package to address that the Town's and private infrastructure is more than sufficient to address not only the proposed amenities, but also, the project itself.
- c) Explains how the amenity helps implement...(the Town's plans)....** The amenity addresses the goals of the Comprehensive Pedestrian and Bicycle Master Plan.

4) The proposed incentives.

In order to fulfill the vision set forth above, there are three amendments to the Schedule D-2 Incentives granted as part of the 1996 Incentive Zoning and two related new amenities required.

Amendment to 1996 Schedule D-2 Incentives:

1. An amendment to allow a maximum density of 9.6 units per acre, an increase from the 8.2 units per acre authorized under the 1996 Schedule D-2. (Please note that the RHD-2 maximum density is 14 units per acre).

2. An amendment to allow a total of 236 dwelling units, an increase from the 201 dwelling units authorized under the 1996 Schedule D-2. (Please note that density utilizing the RHD-2 standard of 14 units per acre would yield a density of 342 units)
3. An Amendment to allow the minimum setback for the primary buildings to the South property line to be 228 feet from Meridian Centre Boulevard, a decrease from the 300-foot setback required under the 1996 Schedule D-2. (Please note that the minimum front (South) setback under the Town Code is 40 feet).

New incentives:

1. **Building height – number of stories-** Code § 205-5 establishes a maximum of three (3) stories for any principal structure. In order to design the new buildings most efficiently with parking below the units and to minimize impervious surface coverage, a four-story design is being proposed. The net result is (1) an increase in the number and percentage of covered spaces on site and (2) impervious surface levels well below the maximums set forth in the RHD-2 Code and the 1996 Incentive Zoning approval.
2. **Building height (feet) -** Code § 205-5 establishes maximum height as forty (40) feet. The mansard deck (which we believe is the standard for measurement of building height under the Town Code) is designed at 45 feet, while the top of the stair tower (highest point of the building) is 59 feet.

THE APPLICATION PACKAGE

The application package submitted with this request is as follows:

- a) The graphics referenced earlier in this letter (site plan, elevations, view study)
- b) A Full Environmental Assessment Form (FEAF).
- c) The engineering narrative referenced earlier in this letter.

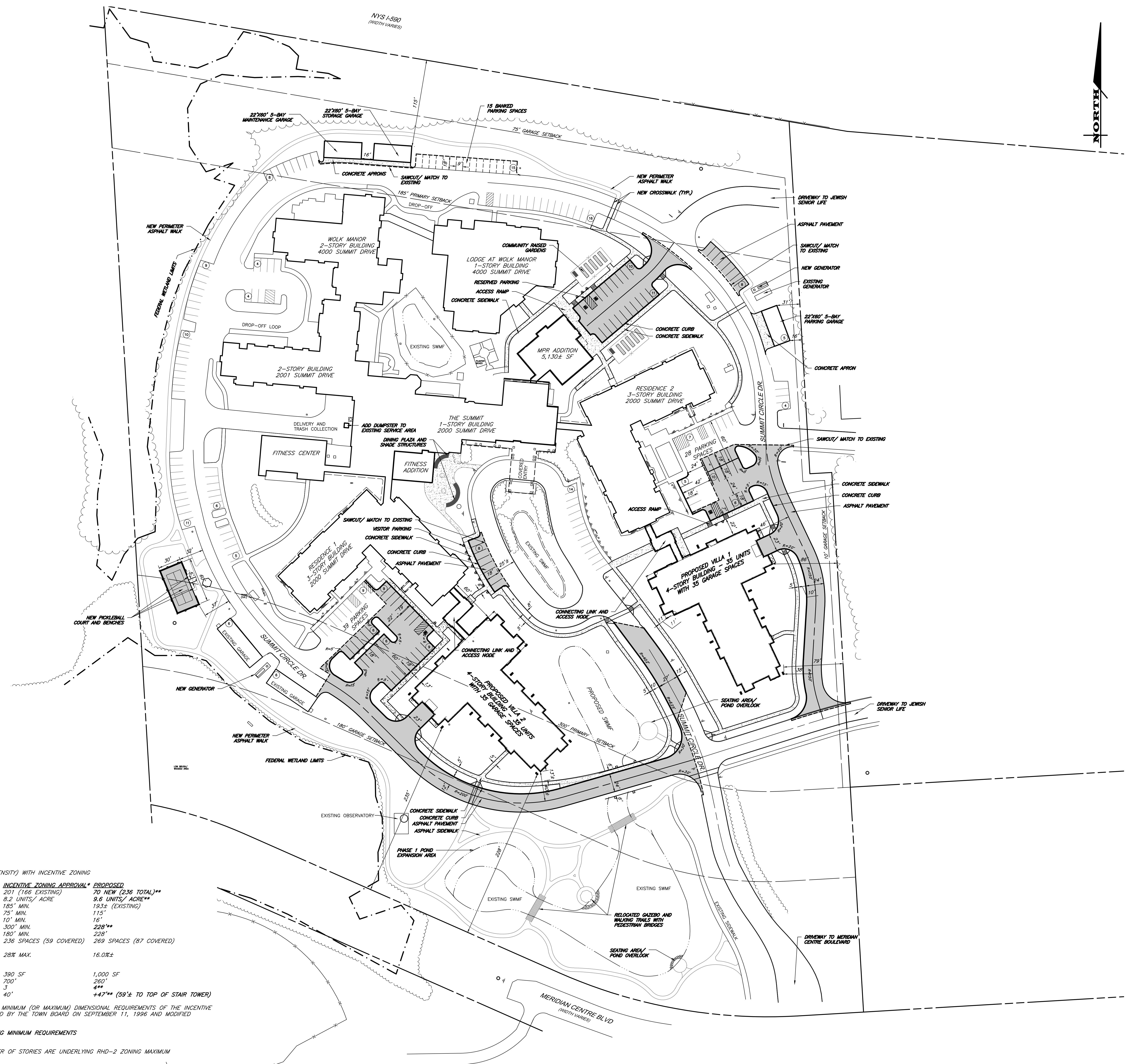
The JSL Team looks forward to presenting this request preliminarily to the Town Board Public Works Committee on November 9. If any Board member has any questions, please do not hesitate to contact me.

Very truly yours,

WOODS OVIATT GILMAN LLP



Jerry A. Goldman



PERKINS — EASTMAN
 525 William Penn Place Suite 2510
 Pleasantville, NY 10570
 T: +1 412 458 0900
 F: +1 412 458 0906

Owner:
 2021 WINTON ROAD SOUTH ROCHESTER, NY 14618
Construction Manager:
LECESE CONSTRUCTION
 7500 HIGHWAY PARK DRIVE WEST HENRIETTA,
 NY 14586
Civil / Site:
MARATHON ENGINEERING
 39 CASCADE DRIVE, ROCHESTER NY 14614
Landscape:

Structural:
Mechanical & Plumbing:
Electrical:
Lighting Consultant:
Food Service:
Planning / Zoning:
Envelope Consultant:
Code Consultant:
Acoustical Consultant:

PROJECT TITLE:
JSL THE SUMMIT - IL VILLA BUILDINGS
2021 WINTON ROAD SOUTH ROCHESTER, NY 14618
PROJECT No: 79081.00
DRAWING TITLE:
AYOUT PLAN

SCALE: 1" = 50'

C-101

INCENTIVE ZONING SUBMISSION

Issue Date: October 29, 2021

Winfield Park



Winfield Park
Fact Sheet
2021 Updated Site Plan
November 3, 2021

I.	Project Name:	Winfield Park
II.	Applicant:	Brighton Business Park LLC (Buckingham Properties & Pride Mark Homes)
III.	Location:	Brighton-Henrietta Townline Road, east of South Clinton Avenue T.A. 149.15-1-38, 149.15-1-39, 149.15-1-46.1, 149.19-2-24, 149.19-2-25, 149.19-2-26, 149.20-1-1
IV.	Property Area:	±133.1 acres
V.	Existing Zoning:	RLB (Residential Low Density); T.O.P. (Technology & Office Park)
VI.	Proposed Zoning (via Incentive Zoning Application):	P.U.D. (Planned Unit Development); BE-F (Low Intensity Commercial); T.O.P. (Technology & Office Park)
VII.	Proposed Development:	<p>A. P.U.D. District</p> <ol style="list-style-type: none">1. Market Rate Housing:<ol style="list-style-type: none">a. 30 single-family residential lotsb. 24 townhouse units (8 blocks @ 3 units each)c. 130 apartment units (5 3-story buildings @ 26 units each)d. 60 apartment units (6 2-story buildings @ 10 units each)2. Affordable Housing:<ol style="list-style-type: none">a. 38 townhouse units (9 4-unit blocks & 1-2 unit block)b. 270 apartment units (3 3-story buildings @ 90 units each) <p>B. BE-F District</p> <ol style="list-style-type: none">1. Commercial Uses:<ol style="list-style-type: none">a. 38,000 SF in up to four (4) buildings. <p>C. T.O.P. District</p> <ol style="list-style-type: none">1. Office Building / Use:<ol style="list-style-type: none">a. 5,000 SF single-story building2. T.O.P. Buildings / Uses:<ol style="list-style-type: none">b. 500,000 SF proposed as 5 one-story buildings @ 100,000 SF each (actual building size will vary based upon tenant needs).

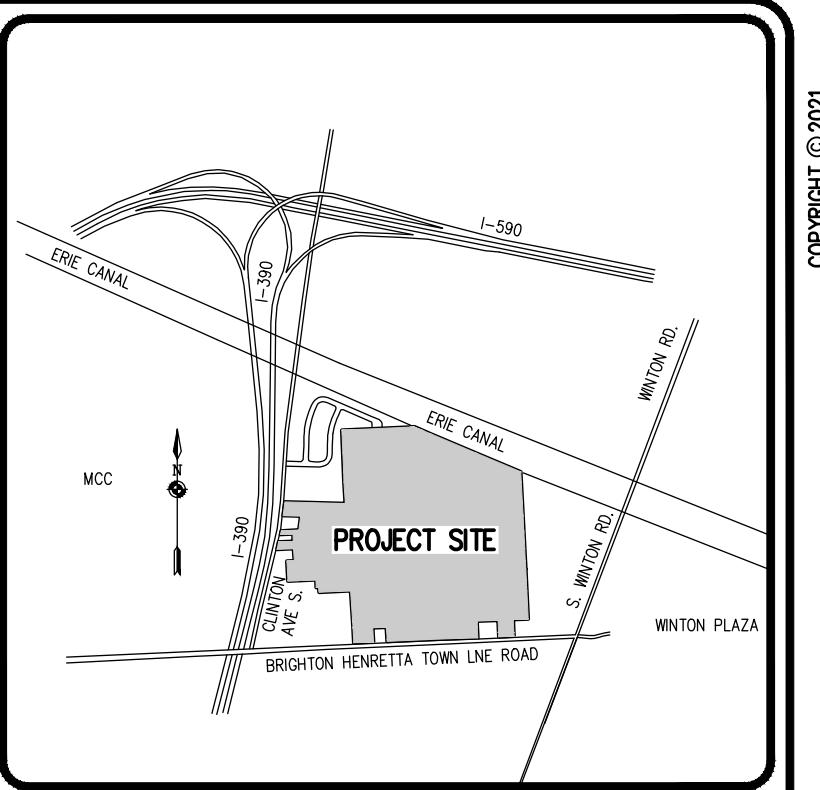
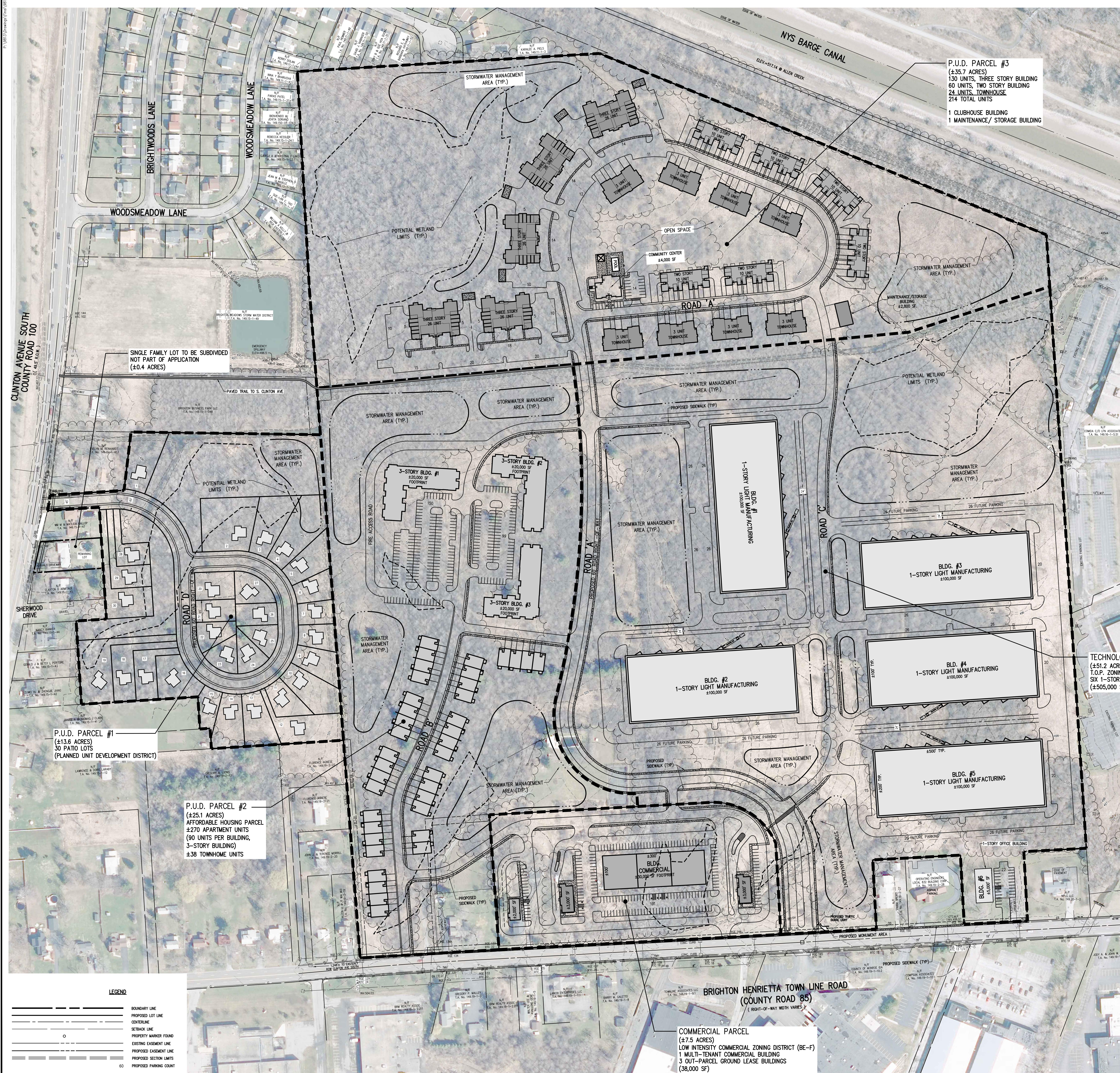
VIII.	Application Process:	<ol style="list-style-type: none"> 1. Incentive Zoning Application (originally submitted April 19, 2010 with subsequent updates through 2015). 2. SEQRA Process: <ol style="list-style-type: none"> a. Town Board lead agency, positive declaration issued for the Type I action. b. DEIS prepared and accepted as complete July 31, 2013, with a public hearing held September 11, 2013. c. FEIS prepared and submitted May 2015 with completeness review letter issued July 27, 2015. 2. Next Steps: <ol style="list-style-type: none"> a. Amended Incentive Zoning application to be submitted to the Town Board for the proposed 2021 Site Plan. b. Supplemental DEIS to be prepared. c. Town Board reviews and schedules public hearing once the application and Supplemental DEIS are deemed complete.
IV.	Proposed Site Plan:	<ol style="list-style-type: none"> 1. Proposed two points of access to Brighton-Henrietta TL Road, once access signalized. 2. Proposed access to South Clinton Avenue to serve 30 single-family lots only. 3. Project served by public water and public sanitary sewer. 4. Sanitary sewer to include decommissioning of Brighton Meadows pump station and re-routing flows through development. 5. Comprehensive stormwater management plan, utilizing green infrastructure practices. 6. Pedestrian routes throughout, including connection to South Clinton Avenue for access to canal towpath and points beyond. 7. Distinct development pockets through the project connected by greenspace, passive recreation lands, natural/preserved woods and wetlands, and multi-modal transportation (walk, bike, drive). 8. Providing a mix of residential housing options including for-sale, fee simple and rental units. A mix of affordable and market rate housing. Housing options for all lifestyles and demographics including single-family, townhome and apartment living. 9. Development supported by a mix of neighborhood commercial uses and business uses for both residents, employers and employees. Provides non-residential use options, which in turn supports the tax base of the Town. 10. Preservation of onsite wetlands throughout site and the silver maple woodlot in the northwest corner. 11. Use of LED dark sky compliant light fixtures.

V.	Proposed Amenities (via Incentive Zoning):	<ol style="list-style-type: none"> 1. Installation of excess sanitary sewers and elimination of the Brighton Meadows pump station. 2. Proposed drainage improvements along the southwest portion of the site to provide relief to existing property owners. 3. Sanitary sewer extension along Brighton Henrietta Townline Road and South Clinton Avenue to provide sewer to existing residences. 4. Pedestrian connection to South Clinton Avenue. 5. Providing ±308 affordable housing units (55% of the proposed residential units) in the form of townhomes and apartments.
VI.	Requested Incentives (draft):	<ol style="list-style-type: none"> 1. Change from RLB to P.U.D. zoning and change in allowed residential uses to allow for single-family, townhome and apartment uses. 2. Change from RLB to BE-F Low Intensity Commercial zoning to allow for commercial uses along Brighton Henrietta Townline Road. 3. Expansion of the T.O.P. district to allow for additional T.O.P. uses on the property. 4. Request to reduce internal buffers between the P.U.D., BE-F, and T.O.P. zoning districts. 5. Other possible bulk lot area incentives upon preparation of the Incentive Zoning application and Site Plan.



Winfield Park
Project Comparison Sheet
November 3, 2021

	November 2021 PLAN	February 2015 PLAN
Project Area:	±133.1 Ac.	±133.1 Ac.
Proposed Zoning / Area:	P.U.D. (74.4 Ac.) BE-F (7.5 Ac.) T.O.P. (51.2 Ac.)	P.U.D. (93.5 Ac.) BE-1 (38.7 Ac.) T.O.P. (0.9 Ac.)
<u>Proposed Uses</u>		
1. Market Rate		
- Single-Family Residential:	30	87
- Townhomes:	24	75
- Apartments:	190	270
Sub-total:	244	432
2. Affordable Housing		
- Townhomes:	38	0
- Apartments:	270	0
Sub-total:	308	0
Total residential:	552 Units	432 Units
3. Commercial Space:	38,000 SF	0
4. Office Space:	0	327,000 SF
5. T.O.P. Space:	505,000 SF	5,000 SF
Total non-residential space:	543,000 SF	332,000 SF
6. Community Center:	11,000 SF	4,000 SF
7. Maximum Building Height		
- Apartments:	3-Story	4-Story
- Office:	1-Story	2-Story
8. Surface Parking Spaces:	±1,299	±2,498



LOCATION MAP
NOT TO SCALE

SUBMISSION NOTES:

- EXISTING ZONING: RLB (RESIDENTIAL LOW DENSITY) AND T.O.P. LOT.
- TOTAL PROJECT AREA IS ±133.1 ACRES
- PROPOSED ZONING:
BE-F (LOW INTENSITY COMMERCIAL) DISTRICT
T.O.P. (PLANNED UNIT DEVELOPMENT) DISTRICT
TOP (TECHNOLOGY OFFICE PARK)

PROPOSED USES:

- 270 AFFORDABLE APARTMENT UNITS IN THREE, 3-STORY BUILDINGS (90 UNITS PER BUILDING)
- 130 APARTMENT UNITS IN FIVE, 3-STORY BUILDINGS (20 UNITS PER BUILDING)
- 60 APARTMENT UNITS IN SIX, 2-STORY BUILDINGS (10 UNITS PER BUILDING)
- 24 TOWNSCAPE UNITS
- COMMUNITY CENTER, SWIMMING POOL
- 30 UNITS, TWO STORY BUILDING
- 505,000 SF TECHNOLOGY & OFFICE SPACE
- 38,000 SF COMMERCIAL USE SPACE

4. APPLICABLE DEVELOPMENT STANDARDS ARE AS FOLLOWS:

PUD (PLANNED UNIT DEVELOPMENT) DISTRICT PARCELS 1-3	
REQUIRED	PROPOSED
MINIMUM DEVELOPMENT AREA	50 ACRES
DENSITY / OVERALL SITE	8 UNITS/ACRE
DENSITY / MULTIFAMILY	5.7 UNITS/ACRE
DENSITY / SINGLE FAMILY	(552 TOTAL UNITS)
14 UNITS/ACRE	4.7 UNITS/ACRE
20% MIN. RECD	5.4%
SETBACKS	
FRONT	N/A
SIDE	N/A
REAR	N/A
MAXIMUM BLDG. HEIGHT	40'
PARKING	1.5 SPACES/UNIT
OPEN SPACE	1,200 SF/UNIT
LANDSCAPE BUFFERS	100' MINIMUM

BE-F (LOW INTENSITY COMMERCIAL)	
REQUIRED	PROPOSED
MINIMUM LOT AREA	5,000 SF
MINIMUM LOT WIDTH	70 FT
MINIMUM LOT DEPTH	10,000 SF / ACRE
SETBACKS:	5,067 SF / ACRE
FRONT	>30'
SIDE	>10'
SIDE ABUTTING RES.	>30'
REAR	>30'
PARKING SETBACKS	>10' FROM ANY PROPERTY LINE (NO PARKING PROPOSED IN FRONT YARD)
MAX BLDG. HEIGHT	40'
BUILDING STOREYS (MAX)	3
MAX LOT COVERAGE	65%
PARKING	1/250 SF (4,000 SF)

TOP (TECHNOLOGY AND OFFICE) DISTRICT	
REQUIRED	PROPOSED
MINIMUM LOT AREA	55,120 SF
DENSITY	10,000 SF / ACRE
SETBACKS:	\$8,860 SF / ACRE
FRONT	75'
SIDE	40'
SIDE ABUTTING RES.	100'
REAR	60'
PARKING SETBACKS	10' FROM ANY PROPERTY LINE (NO PARKING IN FRONT YARD)
MAX BLDG. HEIGHT	40'
MAX LOT COVERAGE	65%
PARKING	100 SPACES (1/250 SF (200))
OFFICE	400 SPACES (1/4,000 SF (800))
WAREHOUSE	TOTAL: 500 SPACES (INCLUDES 156 LANDBANKED SPACES)

TOTAL: 500 SPACES
(INCLUDES 156 LANDBANKED SPACES)

BME ASSOCIATES

ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS

101 BRIDGE LANE EAST
PARKPORT, NEW YORK 14540
PHONE: 585-377-7360
FAX: 585-377-7369
WWW.BME.COM

WINFIELD PARK
TOWN OF ROCHESTER, MONROE COUNTY, NEW YORK
PROPOSED USES: RESIDENTIAL - 1 & 2 FAMILY PROPERTIES
ROCHESTER, NEW YORK

DRAWING TITLE: CONCEPTUAL DEVELOPMENT PLAN

PROJECT: WINFIELD PARK
LOCATION: TOWN OF ROCHESTER, MONROE COUNTY, NEW YORK
CLIENT: BRIGHTON HENRIETTA TOWNSHIP, NEW YORK
DRAWING NO.: SK-1
DATE ISSUED: AUGUST 2021
SCALE: 1" = 100'
PROJECT MANAGER: P. WARS
PROJECT ENGINEER: M. BOGDJEVSKI
DATE: 8/27/21
R. ZONE/M: SERIALIZED
DATE: 8/27/21
NOTES: 1. Existing zoning and approval of all neighboring agencies. This plan is subject to revisions and updates. It is not to be used for construction purposes.
2. This document represents a conceptual plan and is not yet approved or finalized by the zoning agency. This plan is subject to revisions and updates. It is not to be used for construction purposes.
3. The following is an excerpt from the New York State Zoning Law, Article 143 Section 720 and applies to this drawing:
"It is a violation of this law for any person to construct, alter, or maintain any building, structure, or work in any way, if, on the direction of a licensed professional engineer or architect, he or she does not, in the opinion of the professional engineer or architect, follow the plans and specifications of the professional engineer or architect, and if he or she does not sign and date the plans and specifications and affix his or her signature and the date of the completion of the construction or alteration."

South Winton Road Gas Main

DESIGNER CONTACT STATEMENT

DDS ENGINEERS, LLP IS RESPONSIBLE FOR THE DESIGN OF THIS PROJECT. PATRICK CONNELLY IS THE DESIGNER AND IS FAMILIAR WITH NYSDOT STANDARDS AND REQUIREMENTS AND SHALL BE CONTACTED AT 585-359-7540 TO RESOLVE ISSUES OR PROBLEMS DURING CONSTRUCTION. ALL REVISIONS, INCLUDING REVISIONS NECESSARY DUE TO FIELD CHANGES, SHALL BE APPROVED BY THE NYSDOT.

WORK WITHIN NYSDOT R.O.W.:

WE PLAN TO INSTALL APPROXIMATELY 80' OF 16" WRST GAS MAIN ACROSS MONROE AVE (NYS RT 31) IN THE TOWN OF BRIGHTON. THE MAIN SHALL BE INSTALLED IN AN OPEN TRENCH. SEE PLANS FOR MORE DETAILS.

NOTES:

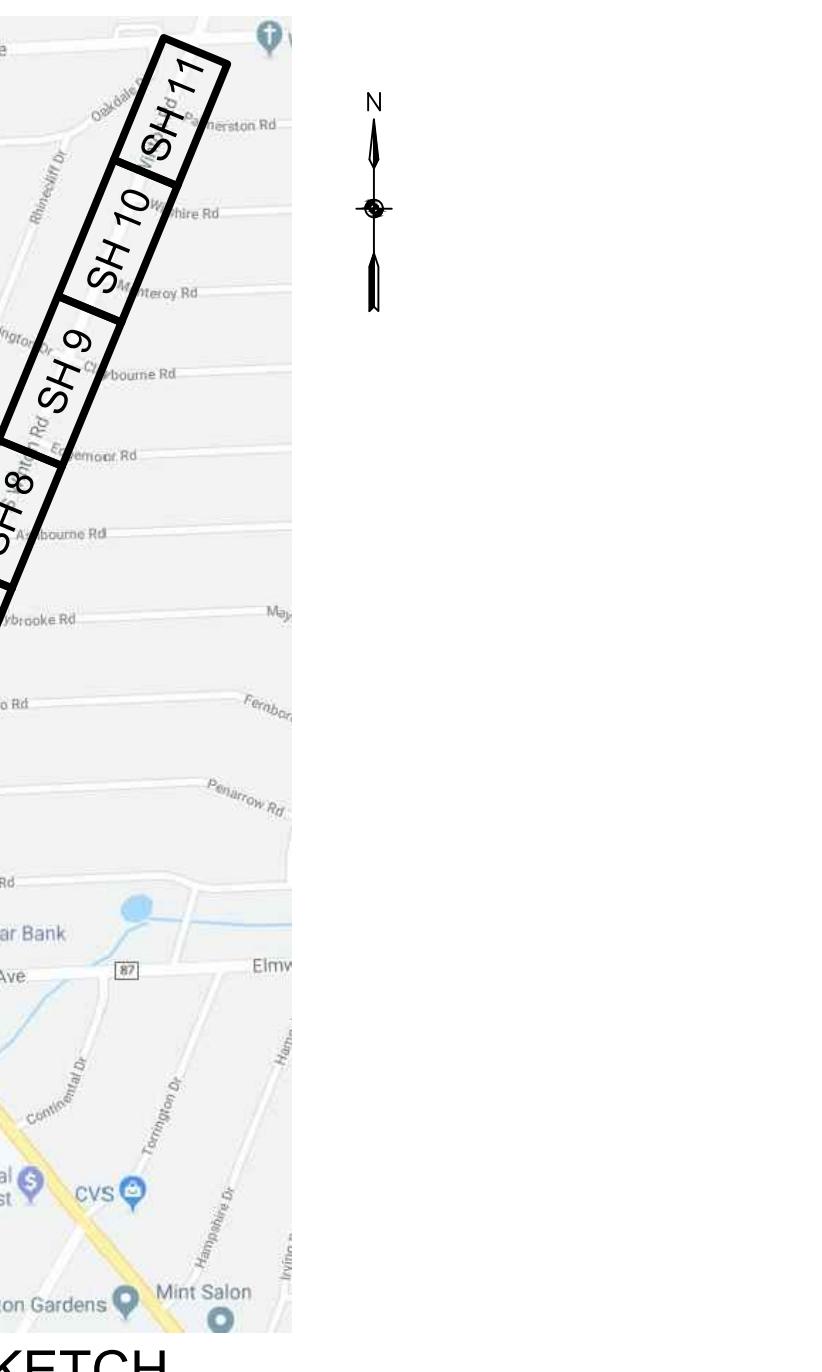
- WINTON RD (CR98) TO BE MILLED AND RESURFACED 1 $\frac{1}{2}$ " CURB TO CURB FOR THE ENTIRE LENGTH OF THE PROJECT, SEE ASSOCIATED RESURFACING & STRIPING PLANS.
- NIGHTWORK IS REQUIRED FOR ALL WORK SOUTH OF THE CHELMSFORD RD. INTERSECTION
- SEPARATE SITE SPECIFIC MPT PLAN FOR WORK SOUTH OF CHELMSFORD RD.
- COMPACTION TESTING REQUIRED FOR ALL OPEN CUT PAVEMENT AREAS
- CONTACT ERNIE FATTORE (585-753-7722) PRIOR TO ANY WORK THAT COULD IMPACT MCDOT SIGNALS
- CONTACT NYSDOT PRIOR TO ANY WORK THAT COULD IMPACT NYSDOT SIGNALS
- CONSTRUCTION CANNOT OCCUR DURING SNOW AND ICE SEASON UNLESS TRENCHES ARE CAPPED WITH AN ACCEPTABLE SURFACE AT THE END OF EACH NIGHT
- THE TOWN OF BRIGHTON SEWER DEPARTMENT SHALL BE NOTIFIED 48 HOURS IN ADVANCE OF ANTICIPATED CROSSING OF THE SANITARY SEWER SYSTEM.
- IF ANY ENVIRONMENTAL CONDITIONS OR ISSUE NOT PREVIOUSLY IDENTIFIED ARE ENCOUNTERED DURING CONSTRUCTION, THE OWNER AND THE CONTRACTORS SHALL IMMEDIATELY NOTIFY THE TOWN, MONROE COUNTY HEALTH DEPARTMENT, AND NYSDOT BEFORE CONTINUING THE CONSTRUCTION PROCESS
- STATIONING FOR PIPELINE PLANS DOES NOT DIRECTLY COINCIDE WITH HIGHWAY STATIONING FOR RESURFACING



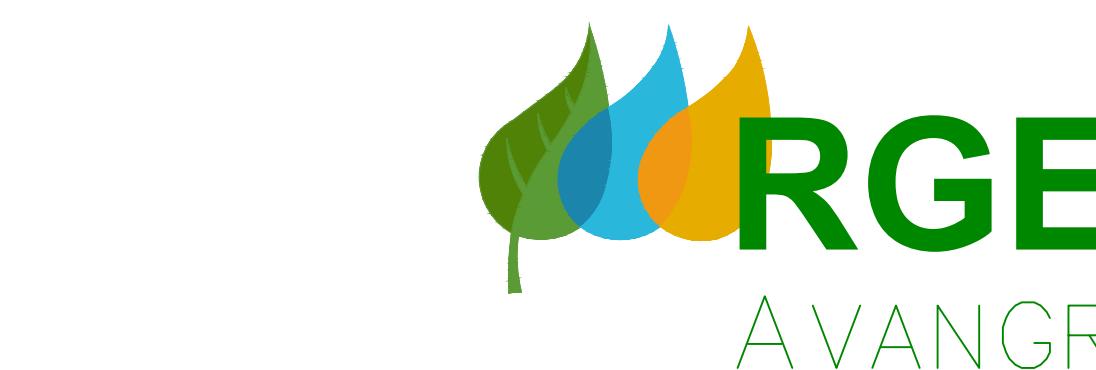
**45 HENDRIX ROAD
W. HENRIETTA, NY 14586**
PHONE (585) 359-7540
FAX (585) 359-7541

WINTON ROAD SOUTH LEAK PRONE MAIN REPLACEMENT

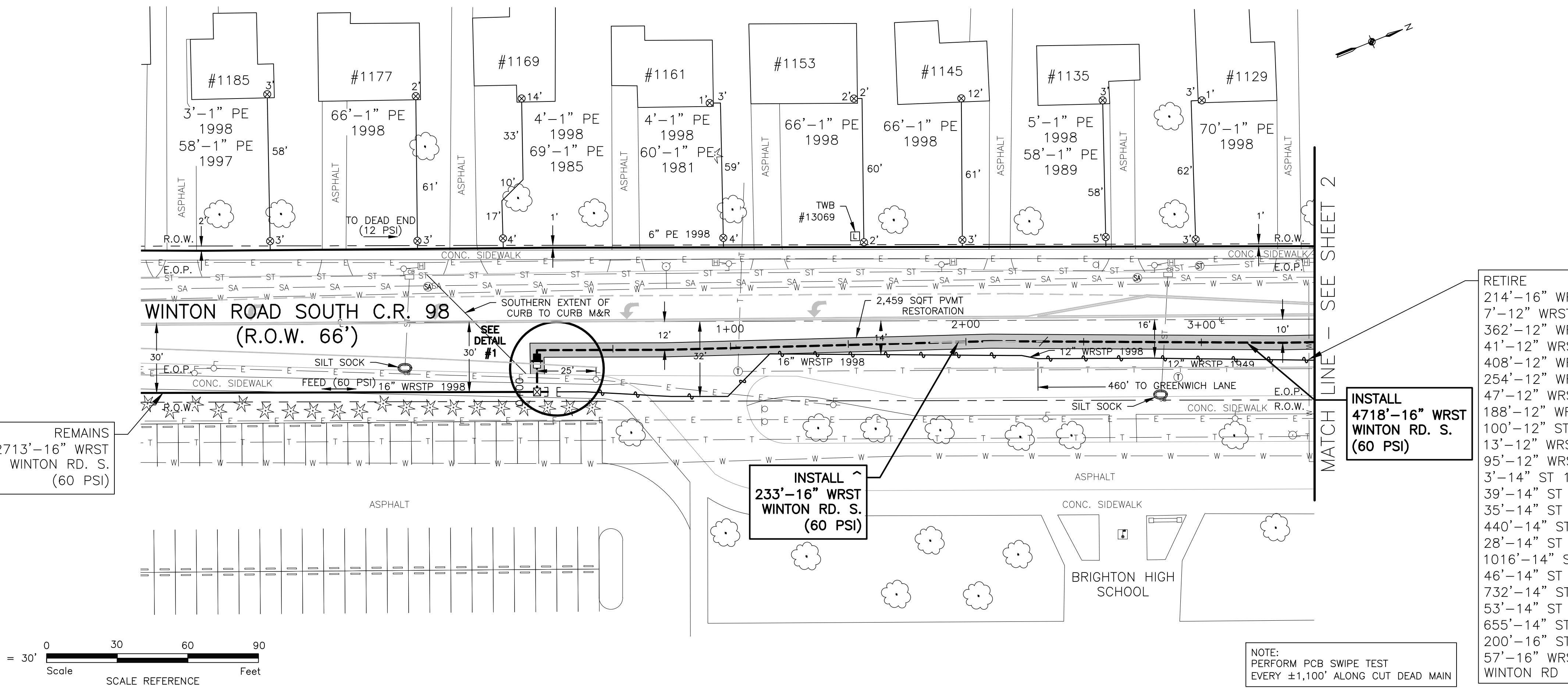
TOWN OF BRIGHTON, MONROE COUNTY, NY



LOCATION SKETCH



CADD Drawing, DO NOT REVISE MANUALLY.



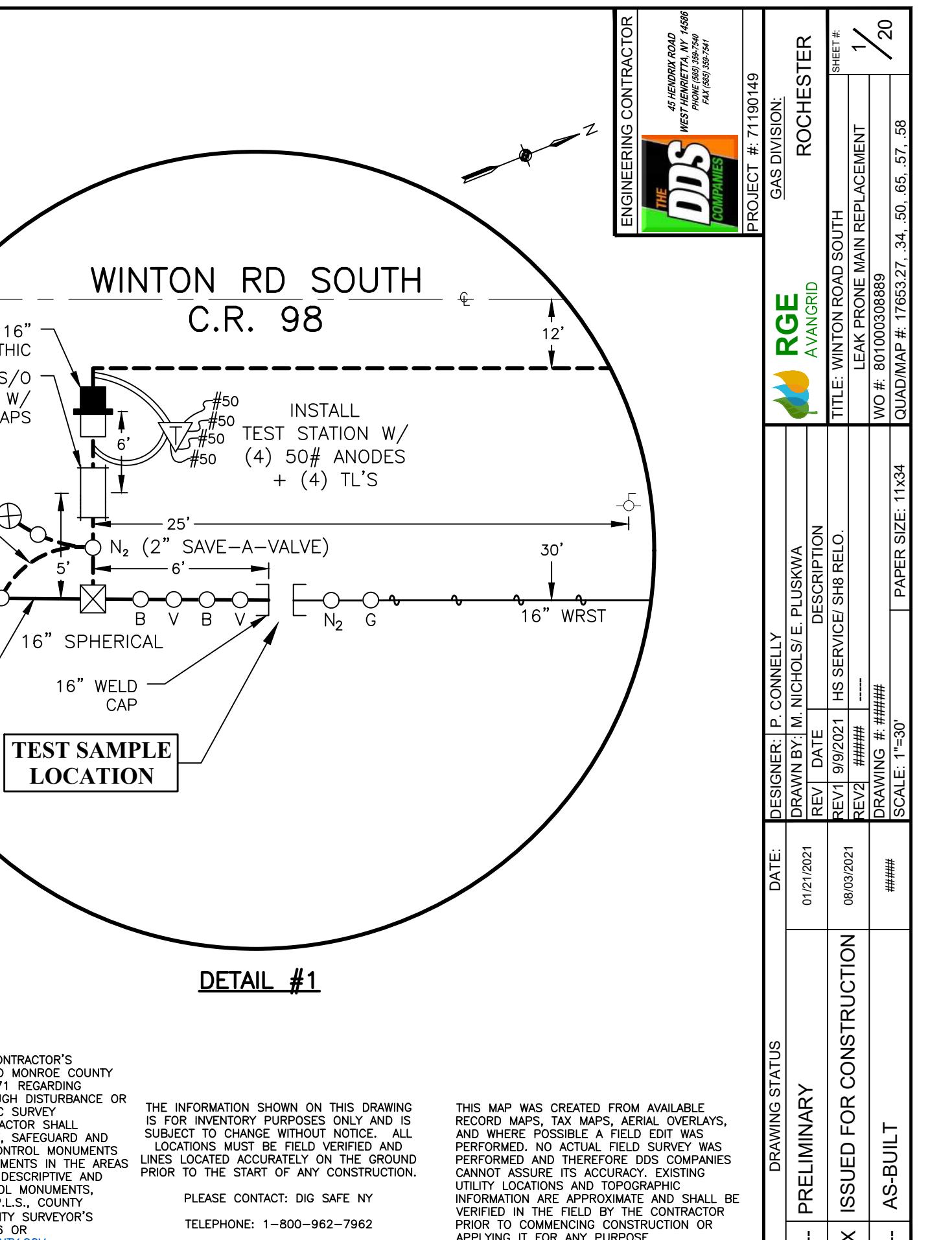
MATCH LINE - SEE SHEET 2

RETIREE
214'-16" WRST 1998 (P)
7'-12" WRST 1996 (P)
362'-12" WRST 1949 (L)
41'-12" WRST 1949 (L)
408'-12" WRST 1949 (L)
254'-12" WRST 1949 (L)
47'-12" WRST 1949 (L)
188'-12" WRST 1949 (L)
100'-12" ST 1949 (L)
13'-12" WRST 1949 (L)
95'-12" WRST 1949 (L)
3'-14" ST 1949 (L)
39'-14" ST 1945 (L)
35'-14" ST 1945 (L)
440'-14" ST 1945 (L)
28'-14" ST 1945 (L)
1016'-14" ST 1945 (L)
46'-14" ST 1945 (L)
732'-14" ST 1945 (L)
53'-14" ST 1945 (L)
655'-14" ST 1945 (L)
200'-16" ST 1945 (L)
57'-16" WRST 1987 (P)
^

INSTALL
4718'-16" WRST
WINTON RD. S.
(60 PSI)

TEST SAMPLE
LOCATION

DETAIL #1



CADD Drawing, DO NOT REVISE MANUALLY.

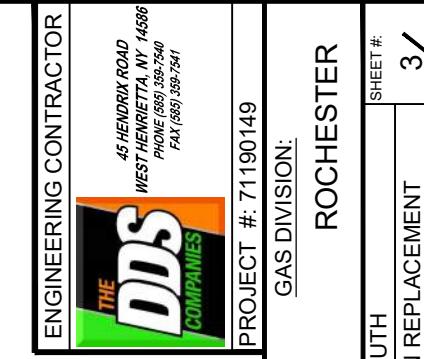
Scale Reference

10

THE INFORMATION
IS FOR INVITATION
SUBJECT TO
LOCATIONS
LINES LOCATED
PRIOR TO THIS
PLEA
TELEGRAM

INFORMATION SHOWN ON THIS DRAWING
IS FOR TENTORY PURPOSES ONLY AND IS
NOT TO CHANGE WITHOUT NOTICE. ALL
DATA MUST BE FIELD VERIFIED AND
ACCURATELY ON THE GROUND
BEFORE THE START OF ANY CONSTRUCTION.

FOR QUESTIONS OR
FOR CONTACT: DIG SAFE NY
PHONE: 1-800-962-7962

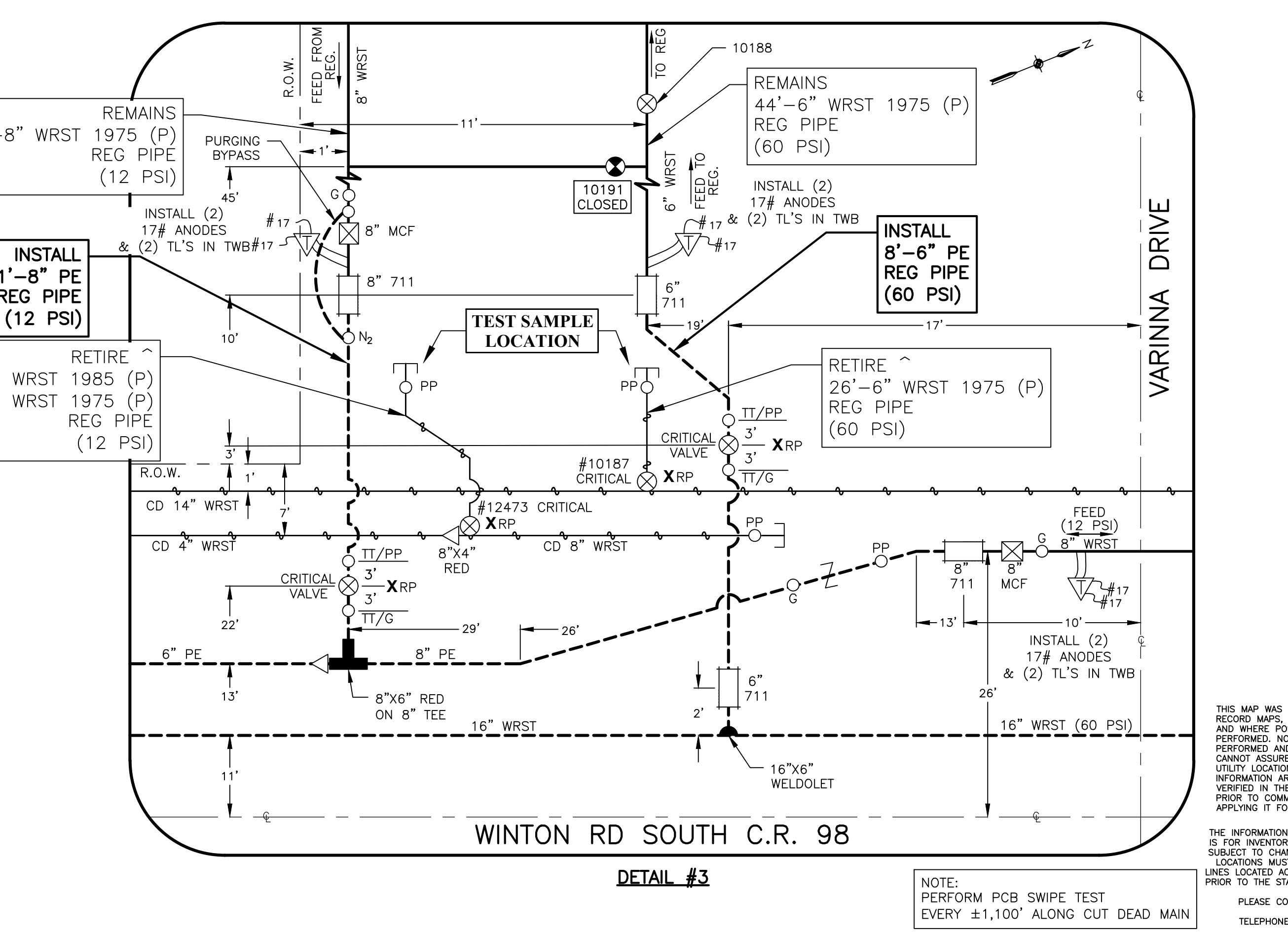
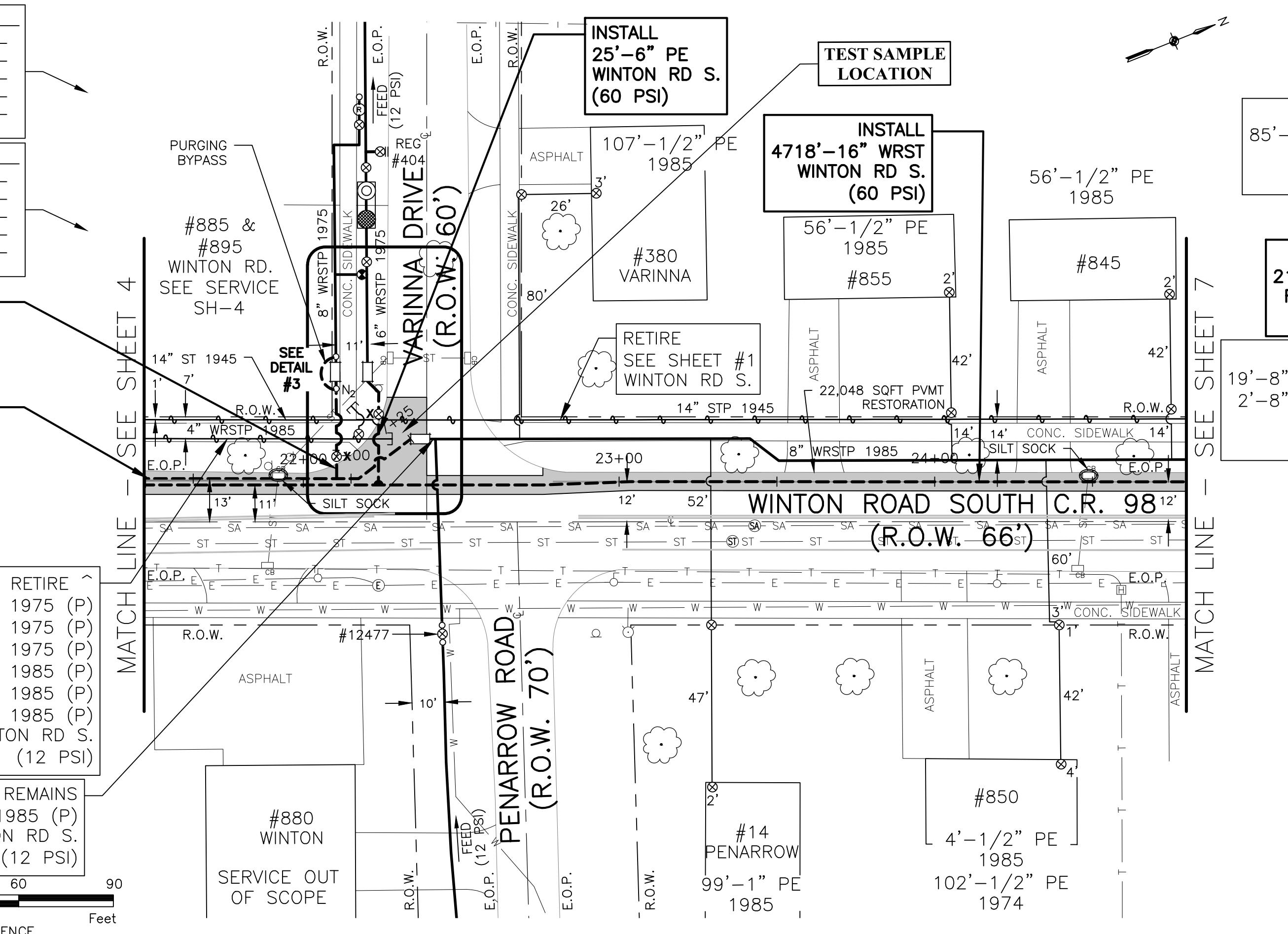


AS-BUILT		####	DRAWING #: ##### SCALE: 1"-30'	PAPER SIZE: 11x34	WO #: 801000308899 QUAD/MAP #: 17653.27, .34, .50, .65, .57, .58
		####			/20

CADD Drawing, DO NOT REVISE MANUALLY.

Scale Reference Bar for 30' scale. The bar is 90 units long, with markings at 0, 30, 60, and 90. The text "Scale" is below the 0 mark, and "Feet" is below the 90 mark. The text "30'" is written next to the 0 mark, and "SCALE REFERENCE" is centered below the bar.

VALVE#	MANF:	SIZE:
FIG.#	TYPE:	TLTO:
LOC:		
T.T.:	&	
VALVE#	MANF:	SIZE:
FIG.#	TYPE:	TLTO:
LOC:		
T.T.:	&	
<div style="border: 1px solid black; padding: 10px; text-align: center;"> INSTALL ^ 9'-8" PE WINTON RD S. (12 PSI) </div>		
<div style="border: 1px solid black; padding: 10px; text-align: center;"> INSTALL ^ 368'-6" PE 24'-8" PE WINTON RD S. (12 PSI) </div>		
<div style="border: 1px solid black; padding: 10px; text-align: center;"> 30'-4" WRST 10'-4" WRST 82'-4" WRST 245'-4" WRST 31'-4" WRST 14'-8"WRST WINTON RD S. </div>		
<div style="border: 1px solid black; padding: 10px; text-align: center;"> 16'-8" WRST 1 WINTON RD S. </div>		



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CONTACT: DIG SAFE NY
1-800-962-7962

DRAWING STATUS		DATE:	DESIGNER:	RGE	GAS DIVISION:
--	PRELIMINARY	01/21/2021	DRAWN BY: M. NICHOLS/E. PLUSKWA	AVANGRID	ROCHESTER
	ISSUED FOR CONSTRUCTION	08/03/2021	REV DATE	DESCRIPTION	SHEET #:
		REV1 9/19/2021	HS SERVICE/ SH8 RELO.	TITLE: WINTON ROAD SOUTH	6
		REV2 #####	-----	LEAK PRONE MAIN REPLACEMENT	
	AS-BUILT	#####	DRAWING #: #####	WO #: 801000308889	
		SCALE: 1"=30'	PAPER SIZE: 11x34	QUAD/MAP #: 17653.27, .34, .50, .65, .57, .58	

CADD Drawing, DO NOT REVISE MANUALLY.

A scale reference diagram. At the top, a horizontal line has tick marks at 0, 30, 60, and 90. Below this line, the text "1'' = 30'" is written. A thick black horizontal bar starts at the 0 mark and ends at the 90 mark. Below the bar, the word "Scale" is centered. To the right of the bar, the word "Feet" is centered. Below the "Scale" and "Feet" labels, the text "SCALE REFERENCE" is written in a larger, bold font.

INSTALL
-16" WRST
TON RD. S.
(60 PSI)

SEE SHEET 7

MATCH LINE

SEE LINE

INSTALL -16" WRST TON RD. S. (60 PSI)

61'-1/2" PE
1985

#745
WINTON

18'

60'

1'

8" WRST

SIL

CONC. SIDEWALK

21'

32+00

E.O.P.

12'

SILT SOCK

65'

ST

ST

ST

ST

ST

ST

ST

E.O.P.

E

CB

HE

E

W

CONC. SIDEWALK

26'

R.O.W.

46'

9'

#750

10'-1/2" PE
1985

131'-1/2" PE
1980

#135
ASHBOUR

SERVICE OUT
OF SCOPE

SERVICE OUT
OF SCOPE

NOTE:
PERFORM PC
EVERY $\pm 1,10$

B SWIPE TEST
0' ALONG CUT DEA

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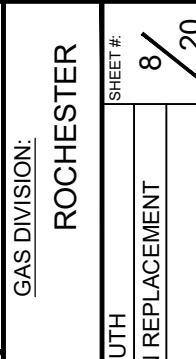
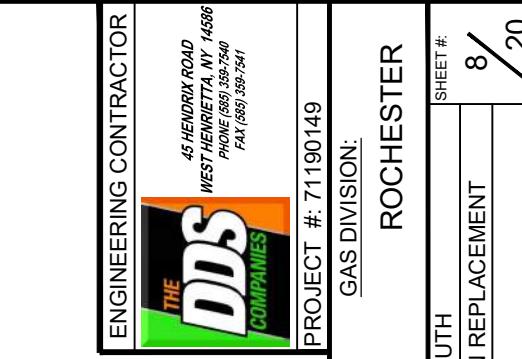
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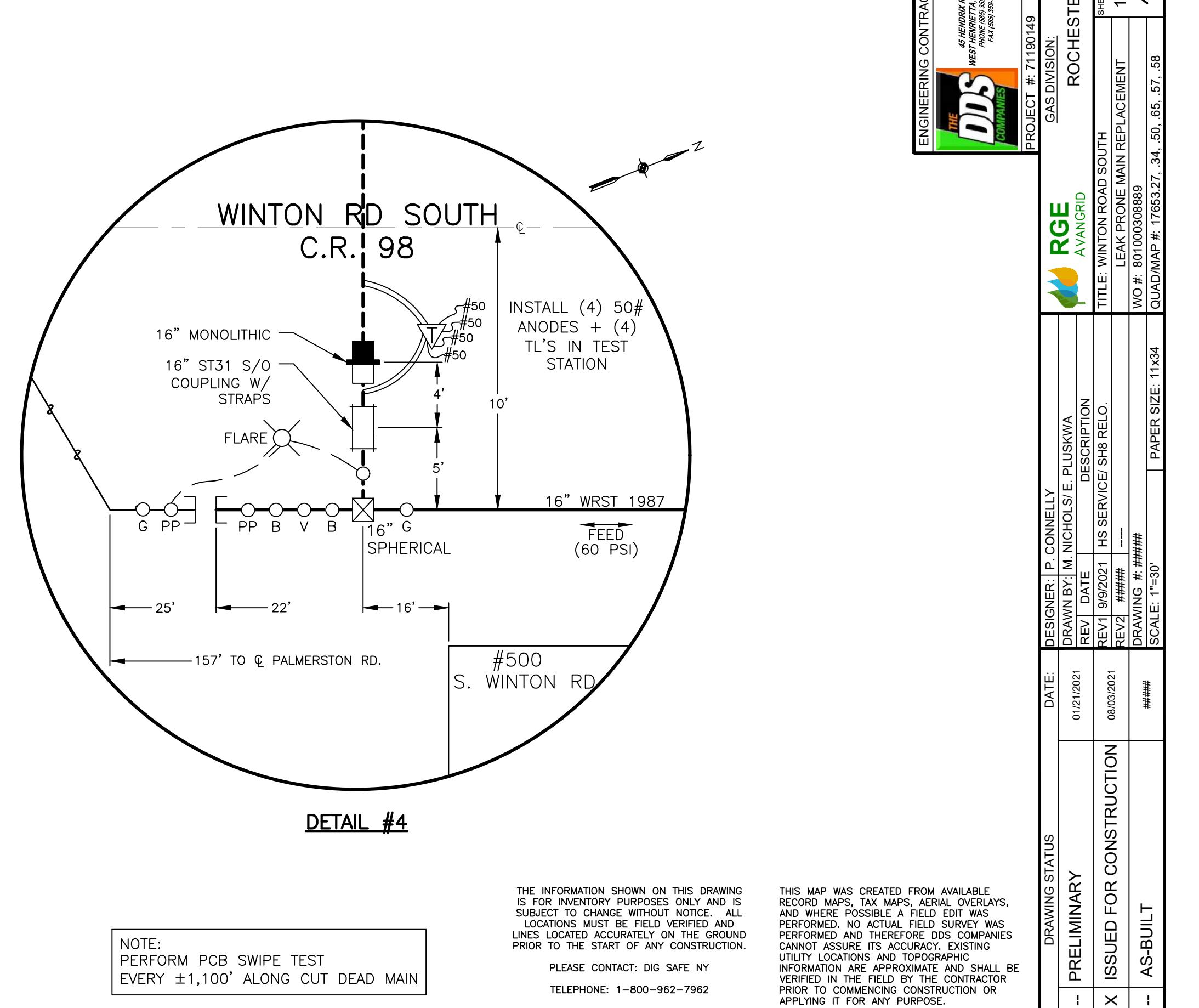
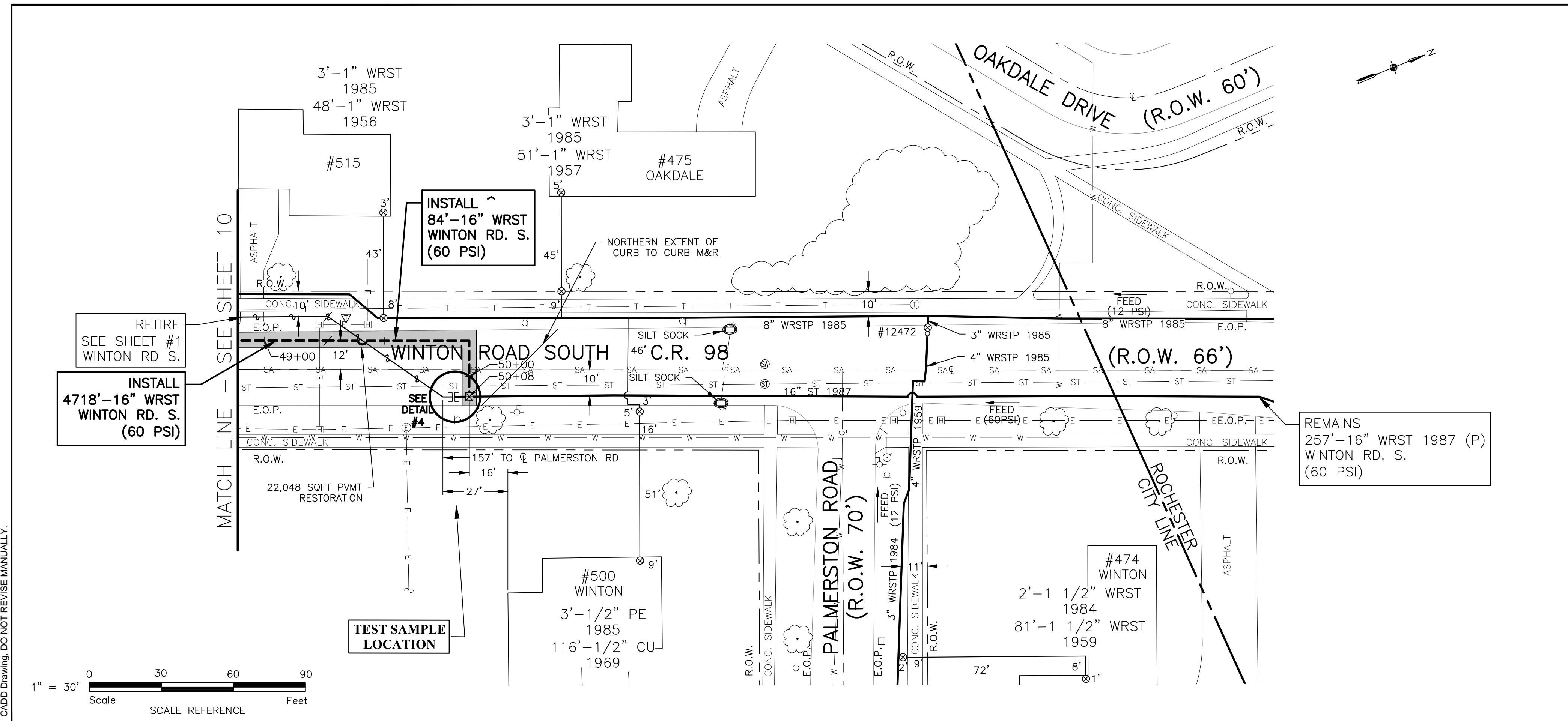
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THE DEVELOPER'S AND CONTRACTOR'S ATTENTION IS DIRECTED TO MONROE COUNTY LOCAL LAW NO. 6 OF 1971 REGARDING LIABILITY INCURRED THROUGH DISTURBANCE OR DESTRUCTION OF GEODETIC SURVEY MONUMENTS. THE CONTRACTOR SHALL LOCATE, MARK, BARRICADE, SAFEGUARD AND PRESERVE ALL SURVEY CONTROL MONUMENTS AND RIGHT OF WAY MONUMENTS IN THE AREAS OF CONSTRUCTION. FOR DESCRIPTIVE AND SURVEY DATA FOR CONTROL MONUMENTS, CONTACT GREGORY BLY, P.L.S., COUNTY SURVEYOR, MONROE COUNTY SURVEYOR'S OFFICE AT 585-753-1156 OR GREGORYBLY@MONROECOUNTY.GOV

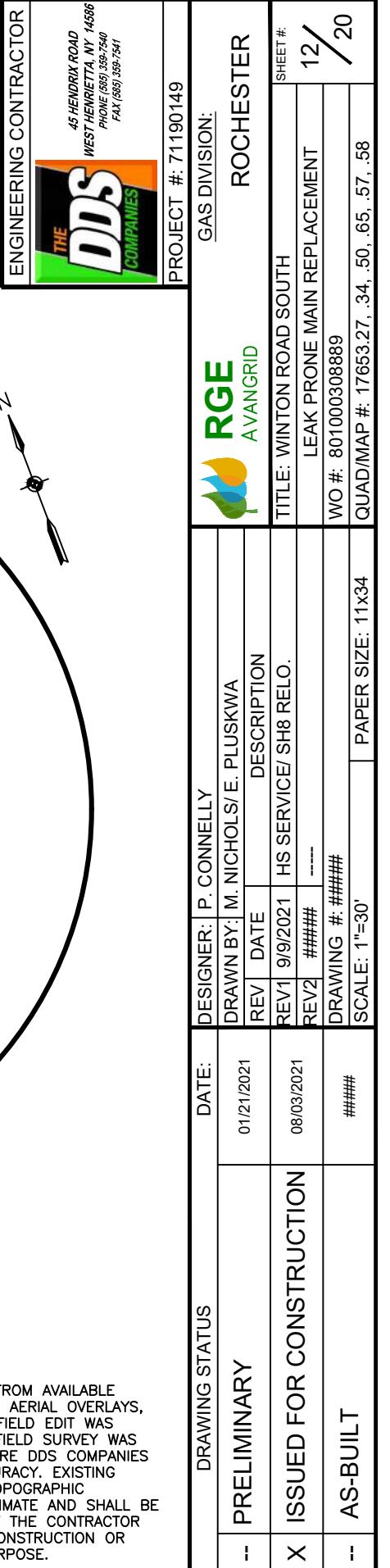
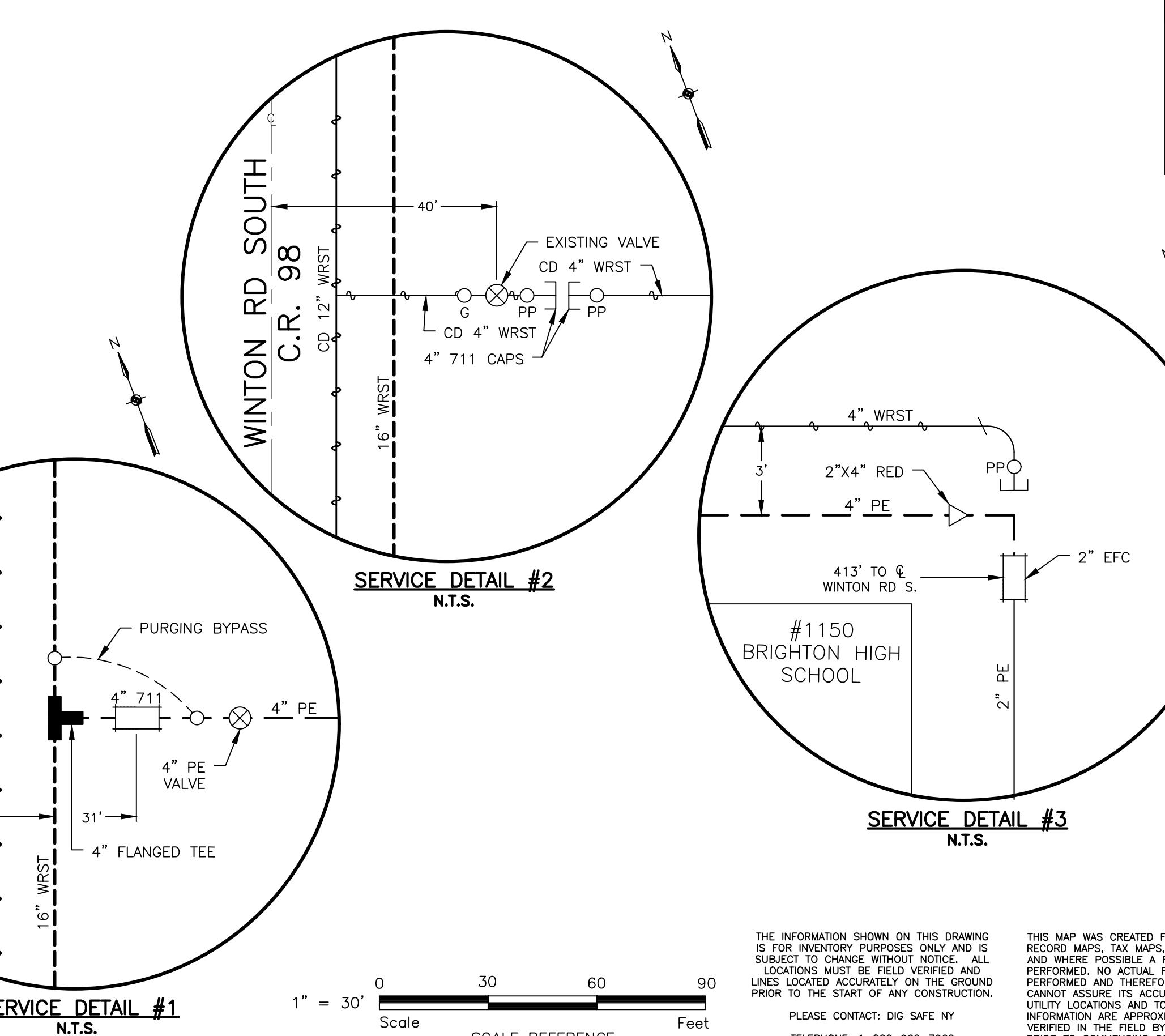
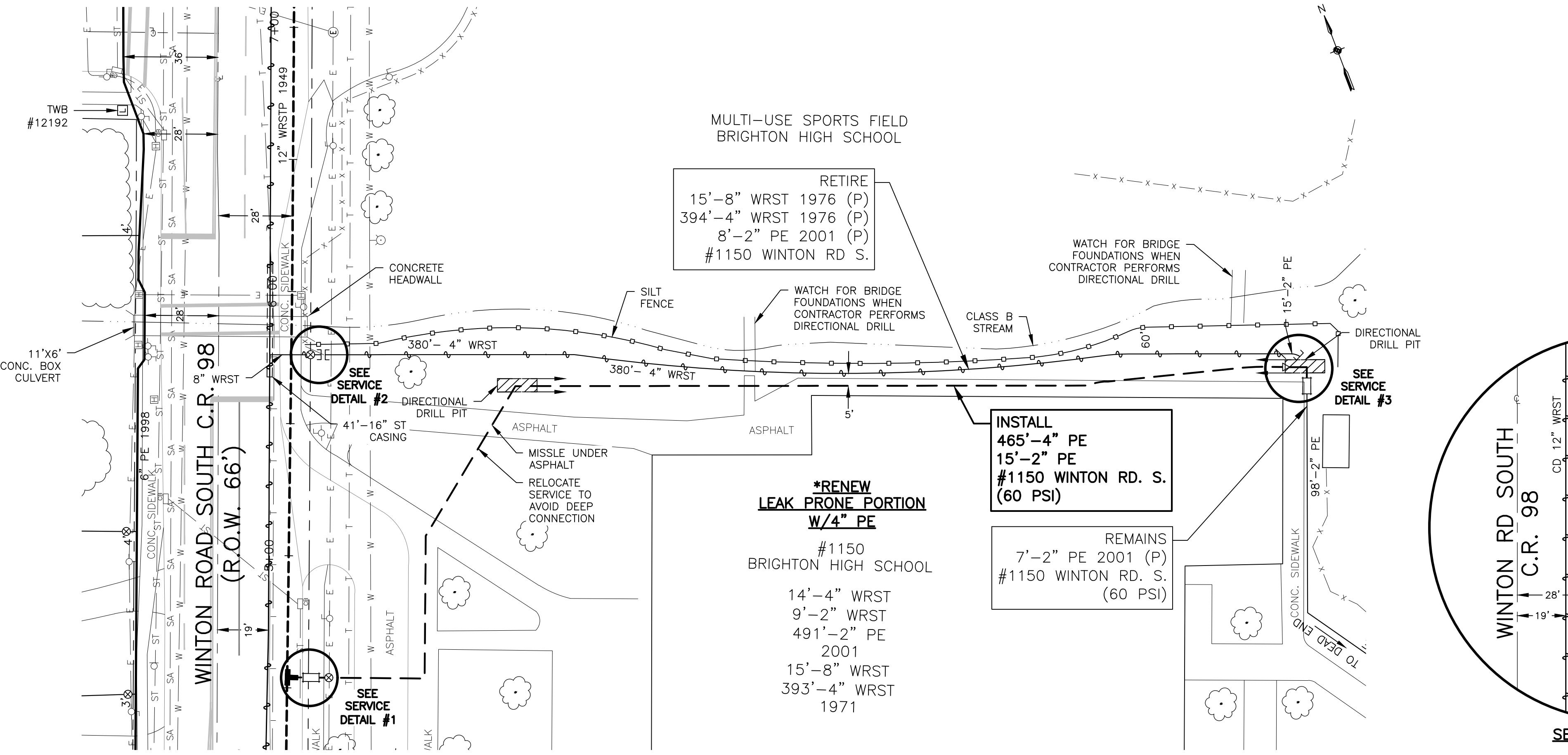
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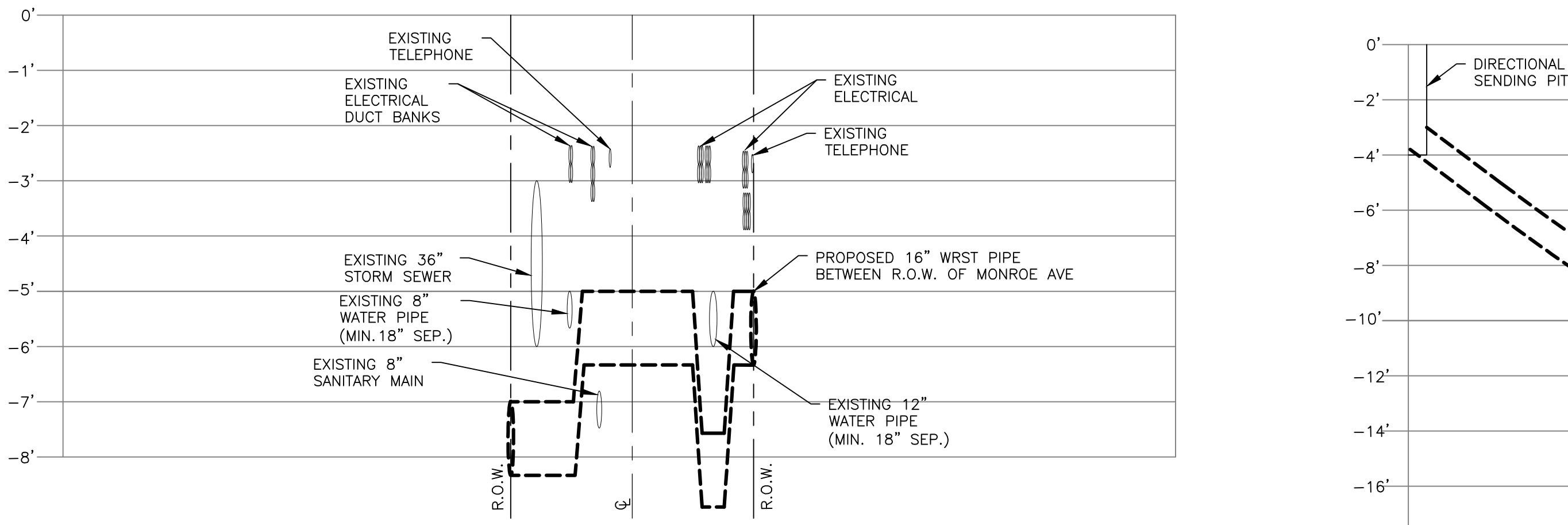


CADD Drawing, DO NOT REVISE MANUALLY.



CADD Drawing, DO NOT REVISE MANUALLY.

PROFILE OF MONROE AVE. UTILITIES AT INTERSECTION OF WINTON RD.

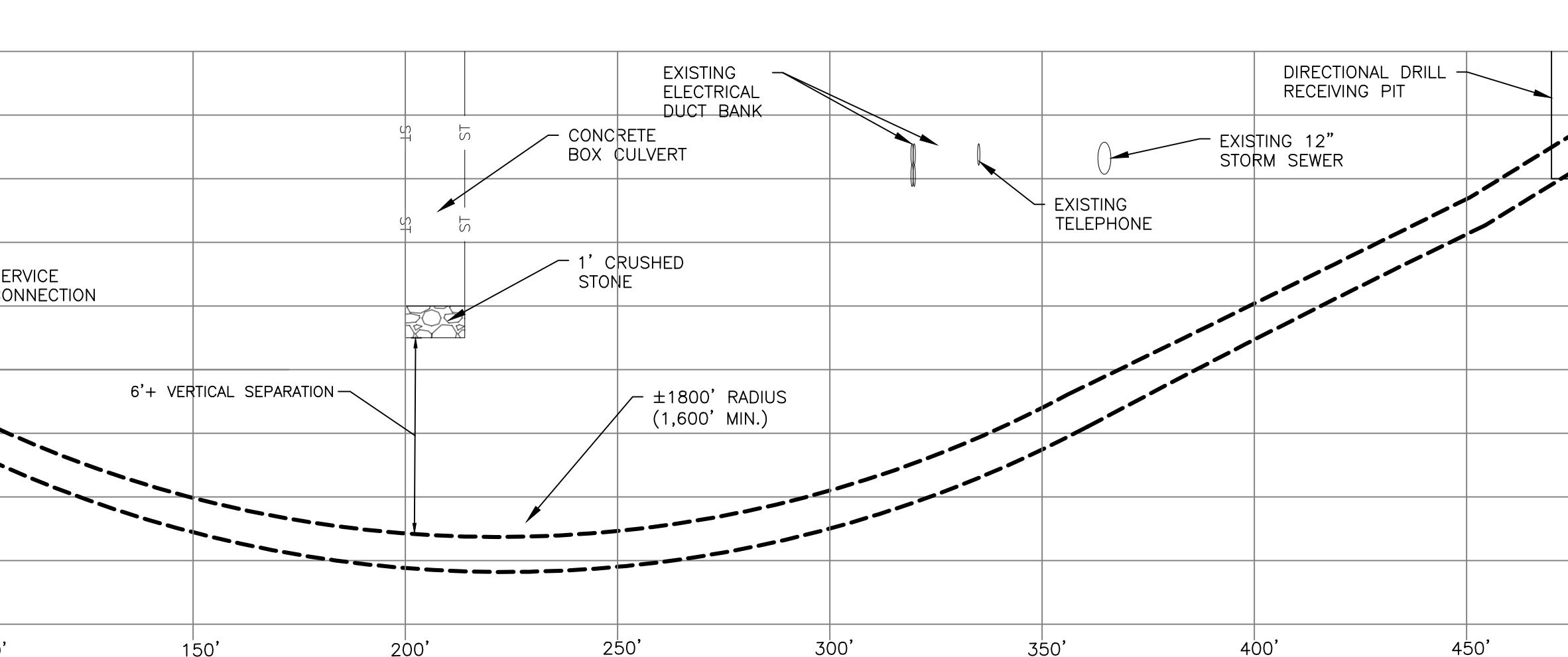


SCALE
H: 1":30'
V:1"=2"

*DEPTH OF EX. UTILITES TO BE
VERIFIED PRIOR TO INSTALLTION
DURING CROSSING

THE INFORMATION SHOWN ON THIS DRAWING
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TELEPHONE: 1-800-962-2962

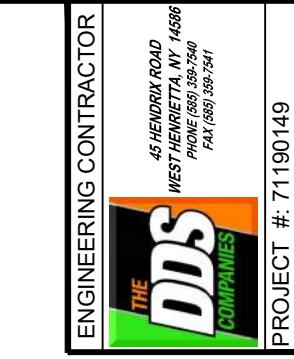
PROFILE OF CULVERT CROSSING ON WINTON RD.



SCALE
H: 1":30'
V:1"=4"

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THIS MAP WAS CREATED FROM AVAILABLE
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PROJECT #: 71-19-149

RGE

AVON RD

GAS DIVISION

ROCHESTER

STREET

13

FEET

20

THE DDS COMPANIES

PROJECT

71-19-149

13

FEET

20

QUAD

MAP # 17633-7

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GENERAL NOTES	
<p>1. THE TYPICAL DETAILS DEPICTED ON THE STANDARD SHEETS AND IN THE MUTCD, REFLECT THE MINIMUM REQUIREMENTS.</p> <p>2. THE CONTRACTOR MUST SUBMIT TO THE ENGINEER, IN WRITING, PROPOSED REVISIONS TO THE TRAFFIC CONTROL PLAN FOR REVIEW AND APPROVAL BY THE REGIONAL DIRECTOR OR HIS/HER DESIGNEE FIVE (5) WORK DAYS PRIOR TO THE PLANNED IMPLEMENTATION OF SUCH PROPOSED REVISIONS, EXCEPT FOR CHANGES THAT ALTER THE SCOPE OF THE TRAFFIC CONTROL PLAN. SUCH CHANGES IN SCOPE MUST BE SUBMITTED TO THE ENGINEER FOR APPROVAL BY THE REGIONAL DIRECTOR OR HIS/HER DESIGNEE THIRTY (30) WORKING DAYS PRIOR TO IMPLEMENTATION OF SUCH REVISIONS.</p> <p>3. THE CONTRACTOR SHALL PROVIDE THE ENGINEER, IN WRITING, WITH THE NAMES, ADDRESSES, AND TELEPHONE NUMBERS OF STAFF WHO ARE AUTHORIZED TO SECURE LABOR, MATERIALS, AND EQUIPMENT FOR EMERGENCY REPAIRS OUTSIDE NORMAL WORKING HOURS. THE ENGINEER WILL PROVIDE THE SUBMITTED INFORMATION TO REGIONAL MANAGEMENT, THE NEW YORK STATE POLICE, THE RESIDENT ENGINEER, AND THE LOCAL POLICE.</p>	
ACTIVITY AREA	
<p>1. THE CONTRACTOR SHALL MAINTAIN A MINIMUM 500' LONGITUDINAL DISTANCE BETWEEN CONSTRUCTION OPERATIONS ON ALTERNATE SIDES OF THE ROADWAY, UNLESS OTHERWISE APPROVED BY THE ENGINEER.</p> <p>2. WHEN TWO OR MORE AREAS ARE ADJACENT, OVERLAP, OR ARE IN CLOSE PROXIMITY, THE CONTRACTOR SHALL ENSURE THERE ARE NO CONFLICTING SIGNS AND THAT LANE CONTINUITY IS MAINTAINED THROUGHOUT ALL WORK AREAS.</p>	
SIGNS	
<p>1. THE LOCATIONS OF THE SIGNS SHOWN ON THE WORK ZONE TRAFFIC CONTROL PLANS AND DETAILS MAY BE ADJUSTED BASED ON SIGHT DISTANCE AND OTHER CONSIDERATIONS. THE FINAL LOCATIONS OF SIGNS ARE SUBJECT TO APPROVAL BY THE ENGINEER.</p> <p>2. ANY EXISTING SIGNS, INCLUDING OVERHEAD SIGNS, WHICH CONFLICT WITH THE TEMPORARY TRAFFIC CONTROL SIGN LAYOUT SHALL BE COVERED, REMOVED, STORED OR RESET, AS APPROVED BY THE ENGINEER. ALL APPROPRIATE EXISTING SIGNS SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AND/OR LOCATION UNLESS OTHERWISE REPLACED IN THIS CONTRACT.</p> <p>3. SIGNS AT OR NEAR INTERSECTIONS SHALL BE PLACED SO THAT THEY DO NOT OBSTRUCT A MOTORIST'S LINE OF SIGHT.</p> <p>4. ALL WARNING AND REGULATORY SIGNS SHALL BE POSTED ON BOTH SIDES OF MULTI-LANE DIVIDED HIGHWAYS, MULTI-LANE RAMPS, AND ONE-WAY STREETS. IN CASES WHERE LANE RESTRICTIONS REDUCE THE TRAVEL LANE TO ONE LANE, SIGNS SHALL BE POSTED ON THE RIGHT SIDE OF THE ACTIVE TRAVEL LANE, UNLESS OTHERWISE AUTHORIZED BY THE ENGINEER.</p> <p>5. SIGNS MOUNTED ON THE MEDIAN OF DIVIDED HIGHWAYS WHERE MEDIAN BARRIER IS IN PLACE MAY BE MOUNTED ON THE BARRIER WITH A SADDLE TYPE BRACKET. LAYING THE SIGN DOWN IN A HORIZONTAL POSITION IS NOT PERMITTED.</p> <p>6. THE DIMENSIONS OF WORK ZONE TRAFFIC CONTROL SIGNS ARE DESCRIBED IN THE MUTCD. ANY CHANGES TO THE DIMENSIONS SHALL BE APPROVED BY THE REGIONAL DIRECTOR OR BY HIS/HER DESIGNEE.</p> <p>7. NYR9-12 MAY BE USED IN PLACE OF NYR9-11.</p>	
CHANNELIZING DEVICES	
<p>1. WHERE POSSIBLE ALL CHANNELIZING AND GUIDING DEVICES ARE TO BE PLACED SO AS TO PROVIDE A MINIMUM 2' LATERAL CLEARANCE TO THE TRAVELED WAY.</p> <p>2. DRUMS SHALL BE USED FOR ANY LANE CLOSURES OR SHOULDER CLOSURES WHICH ARE TO REMAIN OVERNIGHT.</p>	
PUBLIC ACCESS	
<p>1. PROPERTY OWNERS WHOSE DRIVEWAYS WILL BE MADE INACCESSIBLE SHALL BE NOTIFIED BY THE CONTRACTOR AT LEAST 24 HOURS PRIOR TO RESTRICTING USE OF THE DRIVEWAY, FOR MULTIPLE ACCESS PROPERTIES, AT LEAST ONE DRIVEWAY SHALL BE OPEN AT ALL TIMES. ACCESS SHALL BE RESTORED TO ALL DRIVEWAYS AS SOON AS POSSIBLE.</p> <p>2. SUITABLE RAMPS SHALL BE INSTALLED TO MAINTAIN SMOOTH TRANSITIONS FROM RESIDENTIAL AND COMMERCIAL DRIVEWAYS TO AND FROM THE WORK AREA.</p>	
LANE CLOSURES	
<p>1. THE CONTRACTOR SHALL LOCATE LANE CLOSURES TO PROVIDE OPTIMUM VISIBILITY, I.E. BEFORE CURVES AND CRESTS, TO THE EXTENT CONDITIONS PERMIT.</p> <p>2. THE ENGINEER MAY REQUIRE THAT ALL LANES BE RE-OPENED AT ANY TIME IF THE ROUTE IS NEEDED FOR EMERGENCY PURPOSES. THIS COULD INCLUDE INCIDENTS AT LOCATIONS OUTSIDE THE CONTRACT LIMITS.</p>	
LANE WIDTHS	
<p>1. UNLESS AUTHORIZED BY THE ENGINEER, THE MINIMUM LANE WIDTHS FOR WORK ZONE TRAVEL LANES SHALL BE AS FOLLOWS: FREEWAYS AND/OR EXPRESSWAYS IS 11'. THE MINIMUM LANE WIDTH FOR ALL OTHER TYPES OF ROADWAYS IS 10'.</p> <p>2. THE CONTRACTOR SHALL PROVIDE A WRITTEN NOTICE TO THE ENGINEER, A MINIMUM OF 21 CALENDAR DAYS IN ADVANCE OF PERFORMING ANY WORK THAT RESULTS IN THE REDUCED WIDTH OF AN EXISTING ROADWAY, SO THAT THE ENGINEER MAY NOTIFY THE REGIONAL PERMIT ENGINEER IN A TIMELY MANNER.</p>	
BARRIER/SHADOW VEHICLES	
<p>1. BARRIER AND SHADOW VEHICLES SHALL BE REQUIRED AS PER STANDARD SHEET TITLED "WORK ZONE TRAFFIC CONTROL LEGEND AND TABLES".</p> <p>2. NO WORK ACTIVITY, EQUIPMENT, VEHICLES AND/OR MATERIALS SHALL BE LOCATED BETWEEN THE BARRIER OR SHADOW VEHICLE AND THE ACTIVE WORK AREA (ROLL AHEAD DISTANCE).</p> <p>3. THE CONTRACTOR MAY BE REQUIRED TO PROVIDE A BARRIER VEHICLE IN CONJUNCTION WITH POLICE PRESENCE IN THE WORK ZONE, TO BE INCLUDED IN THE UNIT BID PRICE FOR BASIC WORK ZONE TRAFFIC CONTROL.</p>	
<p> STATE OF NEW YORK DEPT. OF TRANSPORTATION REGION 4 PERMIT DETAIL WORK ZONE TRAFFIC CONTROL GENERAL NOTES 10 DEC 2008 WZTC-P10</p>	

01/2020

Standard General Plan Notes

- ROAD TO BE KEPT CLEAN OF MUD AND DEBRIS AT ALL TIMES.
- ROADSIDE DRAINAGE TO BE MAINTAINED AT ALL TIMES.
- MATERIALS, EQUIPMENT AND VEHICLES ARE NOT TO BE STORED OR PARKED WITHIN THE NEW YORK STATE RIGHT-OF-WAY.
- MAINTENANCE AND PROTECTION OF TRAFFIC MUST COMPLY WITH THE CURRENT NATIONAL MUTCD WITH NYS SUPPLEMENT, SECTION 619 OF THE CURRENT NYSDOT STANDARD SPECIFICATIONS. THESE PLANS AND AS ORDERED BY THE ASSISTANT RESIDENT ENGINEER, ON A NYSDOT CONSTRUCTION PROJECT, MAINTENANCE AND PROTECTION OF TRAFFIC MUST COMPLY WITH THESE PLANS AND BE IN ACCORDANCE WITH THE NYSDOT CONTRACT DOCUMENTS AS DEEMED NECESSARY BY THE NYS ENGINEER-IN-CHARGE.
- NOTIFY THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION'S ASSISTANT RESIDENT ENGINEER AT THE APPROPRIATE NUMBER, AS NOTED BELOW, FIVE (5) WORK DAYS PRIOR TO WORKING WITHIN THE STATE RIGHT-OF-WAY.

GENESEE CO. - DAN STAHLER (585) 343-0502

LIVINGSTON CO. - ADAM KISIAH (585) 346-3036

MONROE CO. - WEST OF GENESEE RIVER DARRELL FAZIO (585) 352-3471

MONROE CO. - EAST OF GENESEE RIVER KEVIN KIESER (585) 386-4514

ONTARIO CO. - GREG TROST (585) 396-4955

ORLEANS CO. - ANDREW SHICK (585) 589-6655

WAYNE CO. - GREG TROST (585) 396-4955

WYOMING CO. - KATHRYN MURRAY (585) 786-3310

IN ADDITION, THE PERMITTEE SHALL NOTIFY NYSDOT REGIONAL TRAFFIC OPERATIONS CENTER (RTOC) OF ALL LANE AND SHOULDER CLOSURES AT LEAST THREE (3) DAYS IN ADVANCE OF THE PROPOSED WORK UTILIZING RTOC'S CONSTRUCTION NOTIFICATION FORM. RTOC'S CONSTRUCTION NOTIFICATION FORM CAN BE OBTAINED FROM THE 511NY NOTIFICATION LINK AT THE WORK ZONE TRAFFIC CONTROL ICON ON THE REGION 4 PERMITS WEBSITE: WWW.DOT.NY.GOV/R4WORKPERMITS.

PROPOSED CLOSURES WILL BE REVIEWED FOR CONCURRENT AND OVERLAPPING CLOSURE OR INCIDENT CONFLICTS AND WILL BE ENTERED INTO 511NY.ORG. CLOSURES INCLUDED IN THE NOTIFICATION SHALL CONFORM TO TIME, DATE, AND LOCATION RESTRICTIONS IN THE PERMIT. RTOC MAY DISALLOW OR REDUCE CLOSURES DUE TO OTHER CLOSURES OR WORK, EVENTS, OR INCIDENTS FOUND IN CONFLICT WITH THE PROPOSED CLOSURE(S).

ALL LANE AND SHOULDER CLOSURES SHALL BE REMOVED DURING NON-WORKING HOURS, EXCEPT WHERE AUTHORIZED BY THE NYSDOT REGIONAL TRAFFIC ENGINEER OR DESIGNEE.

6. NOTIFY THE NYSDOT TRAFFIC SIGNAL MAINTENANCE ENGINEER AT (585) 753-7793 5 DAYS PRIOR TO WORKING WITHIN 350' OF A SIGNALIZED INTERSECTION. NOTIFY DIG SAFELY NEW YORK 2 WORK DAYS PRIOR TO DIGGING, DRILLING OR BLASTING AT 811 FOR A UTILITY STAKE-OUT.

7. ALL MATERIALS USED WITHIN THE STATE RIGHT-OF-WAY MUST COMPLY WITH THE CURRENT NEW YORK STATE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS ALONG WITH ANY APPROPRIATE CURRENT NYS DEPARTMENT OF TRANSPORTATION'S STANDARD SHEETS.

8. QUALITY CONTROL OF ASPHALT CONCRETE SHALL MEET THE REQUIREMENTS OF SECTION 401 OF THE STANDARD SPECIFICATIONS. ALL ASPHALT PRODUCED AS PART OF SECTION 401 WILL BE PAID AT A FINAL QUANTITY ADJUSTMENT FACTOR OF 1.0. ASPHALT COURSE DEPTHS SHOWN ON THE PLANS ARE COMPAKTED DEPTHS.

9. NO NIGHT WORK SHALL BE ALLOWED UNLESS APPROVED PRIOR TO START OF PROJECT. ADDITIONAL MAINTENANCE AND PROTECTION OF TRAFFIC MAY BE REQUIRED INCLUDING THE ADDITION OF REFLECTIVE MATERIALS AND LIGHTING.

10. HAZARDOUS WASTE NOTIFICATION - THE PERMITTEE ACCEPTS THE RIGHT-OF-WAY OF THE STATE HIGHWAY IN ITS "AS IS" CONDITION. THE DEPARTMENT OF TRANSPORTATION MAKES NO REPRESENTATION AS TO THE ABSENCE OF UNDERGROUND TANKS, STRUCTURES, FEATURES OR SIMILAR IMPEDIMENTS TO THE COMPLETION OF THE WORK PERMITTED HEREUNDER. SHOULD PERMITTEE FIND SOME PREVIOUSLY UNKNOWN UNDERGROUND IMPEDIMENTS TO ITS WORK, THE DEPARTMENT OF TRANSPORTATION SHALL HAVE NO OBLIGATION TO CURE, REMOVE, REMEDY OR OTHERWISE DEAL WITH SUCH PREVIOUSLY UNKNOWN UNDERGROUND TANKS, STRUCTURES, FEATURES OR IMPEDIMENTS IN A MANNER WHICH MEETS ACCEPTABLE ENGINEERING PRACTICE AND IS APPROVED BY THE DEPARTMENT OF TRANSPORTATION.

11. ADA COMPLIANCE - ALL WORK ON PEDESTRIAN FACILITIES SHALL BE COMPLIANT WITH THE AMERICANS WITH DISABILITIES ACT (ADA).

01/2020

R-4 (03/15)

NYSDOT Region 4 Utility Permit Note

- Road pavement, shoulder and drainage are not to be disturbed or undermined unless indicated otherwise in the plans.
- Suitable non-frozen, non saturated backfill to be used and placed in 6" compacted lifts.
- Pavement to be maintained until a permanent repair can be made.
- Pavement to be replaced in kind or as specified on attached plans.

Note

Road plates shall **NOT** be used during the ASnow and Ice Season@ (November 1st through April 1st). During the months of October and April, call the work area jurisdictional N.Y.S.D.O.T. Transportation Maintenance Residency with plate locations. Road plates shall be pinned and ramped. A "STEEL PLATE AHEAD" sign (W8-24) shall be installed in advance of the plate in accordance with Table NY6H-3 on Standard Sheet 619-11. If the surface of the plate is 1" or greater above/below the surrounding pavement, a "BUM" sign (W8-1) shall be installed between the plate and "STEEL PLATE AHEAD" sign in accordance with Table NY6H-3 on Standard Sheet 619-11 and a barrel with a Type A flasher shall be placed on the shoulder at the plate.

Winter Asphalt Pavement and Shoulder Restoration

Excavation backfill shall be with No. 2 stone (not crusher run), Item 623.12, placed to six inches (6") below the existing pavement surface. The remaining six inches (6") shall have concrete placed to match existing adjacent pavement grade and shall have a good, smooth, non-polished riding surface.

In the spring, when asphalt plants open, the concrete and stone shall be removed to the existing bottom of the subbase in order to perform final restoration per previously approved N.Y.S.D.O.T. pavement restoration procedures.

Test Pits

All test pits in the pavement shall be completed by an 18" square/round vacuum excavation.

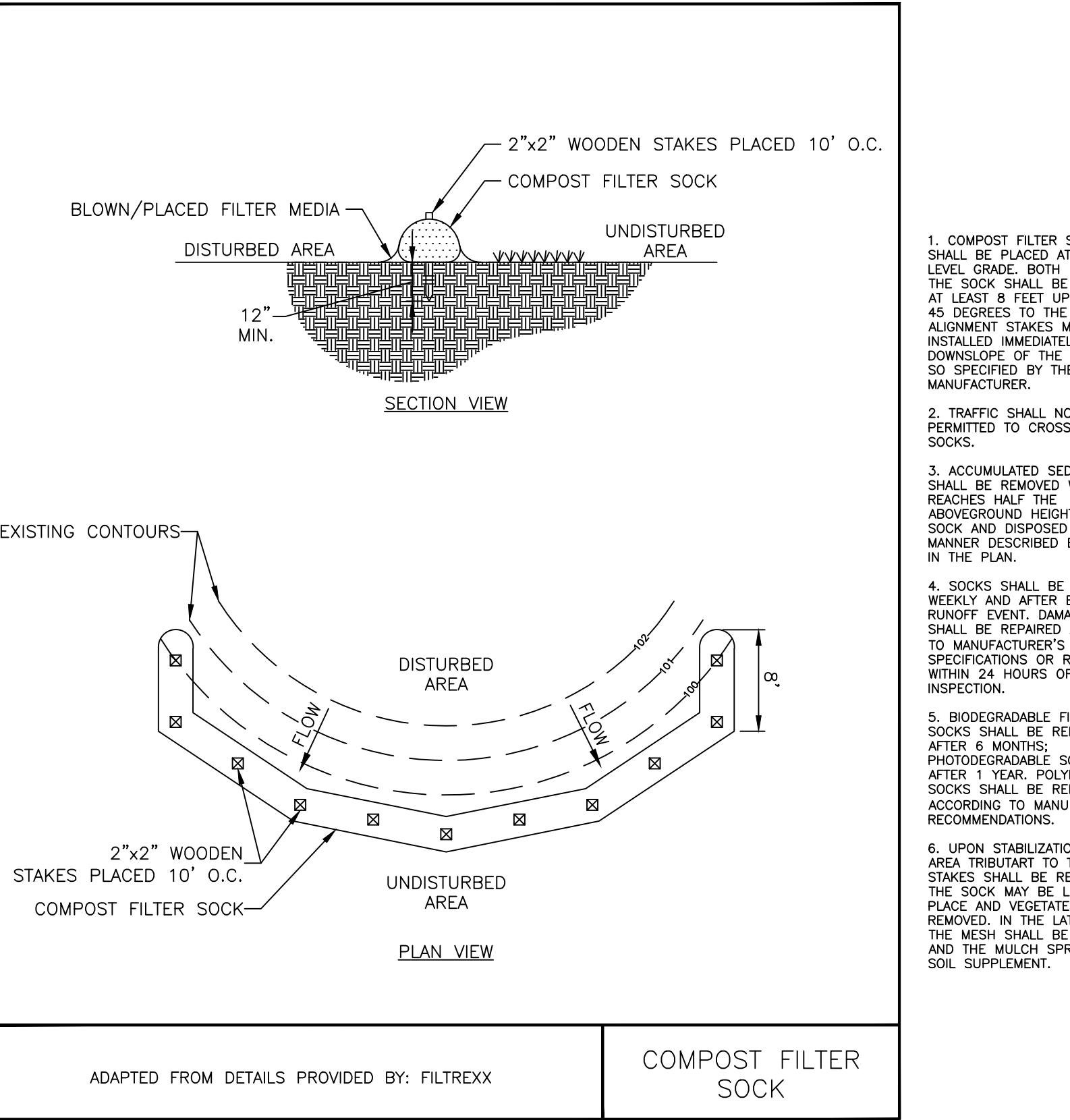
Excavation Support System Requirements

Any excavation 5 feet or more in depth shall utilize a shields and shoring or sheeting system which provides direct contact and support of the excavation sides. The system shall accommodate any associated surcharge loads and shall be submitted to NYSDOT's Regional Geotechnical Engineer for review and approval prior to permit issuance.

A sloping (layback) option will not be allowed.

Shields and shoring or sheeting system requirements do not pertain to test pits which are 18" or less in diameter.

DRAWING STATUS		DATE: 01/21/2021	DESIGNER: P. CONNELLY	REV1: 01/09/2021	REV2: 01/09/2021	REV3: 01/09/2021	IS ISSUED FOR CONSTRUCTION	SCALING: 1"-30"	PAPER SIZE: 11x34
DRAWING STATUS		DATE: 08/03/2021	DESIGNER: M. CONNELLY	REV1: ######	REV2: ######	REV3: ######	IS ISSUED FOR CONSTRUCTION	SCALING: 1"-30"	PAPER SIZE: 11x34
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DRAWING STATUS		DATE: 01/21/2021							



COMPOST FILTER SOCK

1. COMPOST FILTER SOCK SHALL BE PLACED AT EXISTING LEVEL GRADE. BOTH ENDS OF THE SOCK SHALL BE EXTENDED AT LEAST 8 FEET UP SLOPE AT 45 DEGREES TO THE MAIN SOCK ALIGNMENT STAKES MAY BE INSTALLED IMMEDIATELY DOWNSLOPE OF THE SOCK IF SO SPECIFIED BY THE MANUFACTURER.

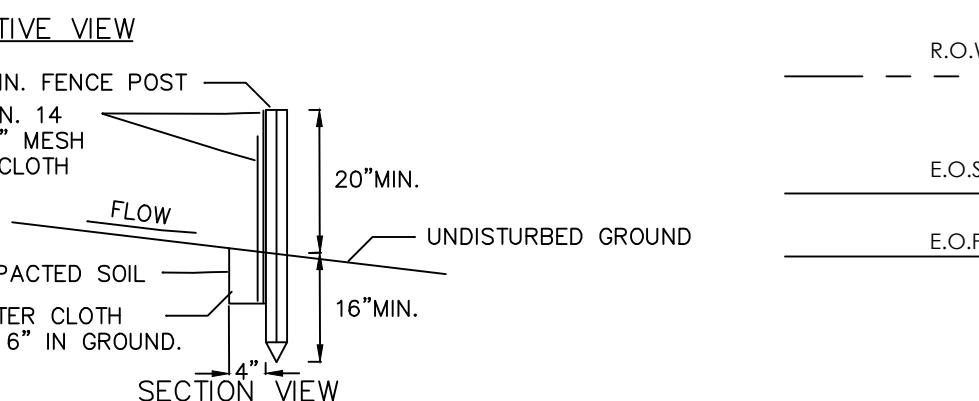
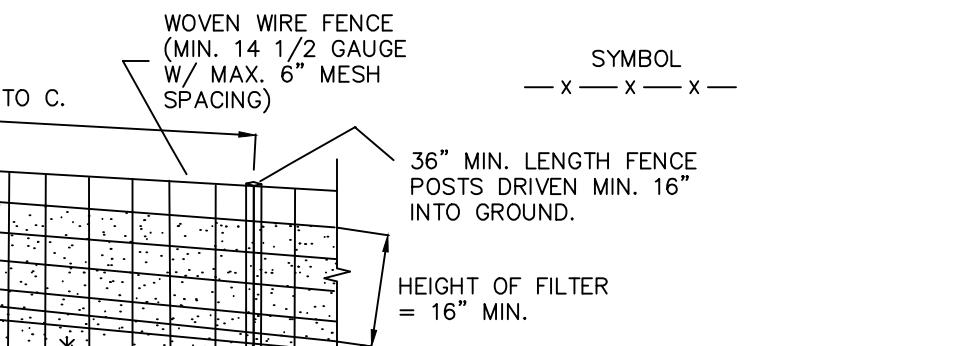
2. TRAFFIC SHALL NOT BE PERMITTED TO CROSS FILTER SOCKS.

3. ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES HALF THE ABOVEGROUND HEIGHT OF THE SOCK AND DISPOSED IN THE MANNER DESCRIBED ELSEWHERE IN THE PLAN.

4. SOCKS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF INSPECTION.

5. BIODEGRADABLE FILTER SOCKS SHALL BE REPLACED AFTER 6 MONTHS; PHOTODEGRADABLE SOCKS AFTER 1 YEAR. POLYPROPYLENE SOCKS SHALL BE REPLACED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.

6. UPON STABILIZATION OF THE AREA TRIBUTARY TO THE SOCKS, STAKES SHALL BE REMOVED. THE SOCK MAY BE LEFT IN PLACE AND VEGETATED OR REMOVED. IN THE LATTER CASE, THE MESH SHALL BE CUT OPEN AND THE MULCH SPREAD AS A SOIL SUPPLEMENT.

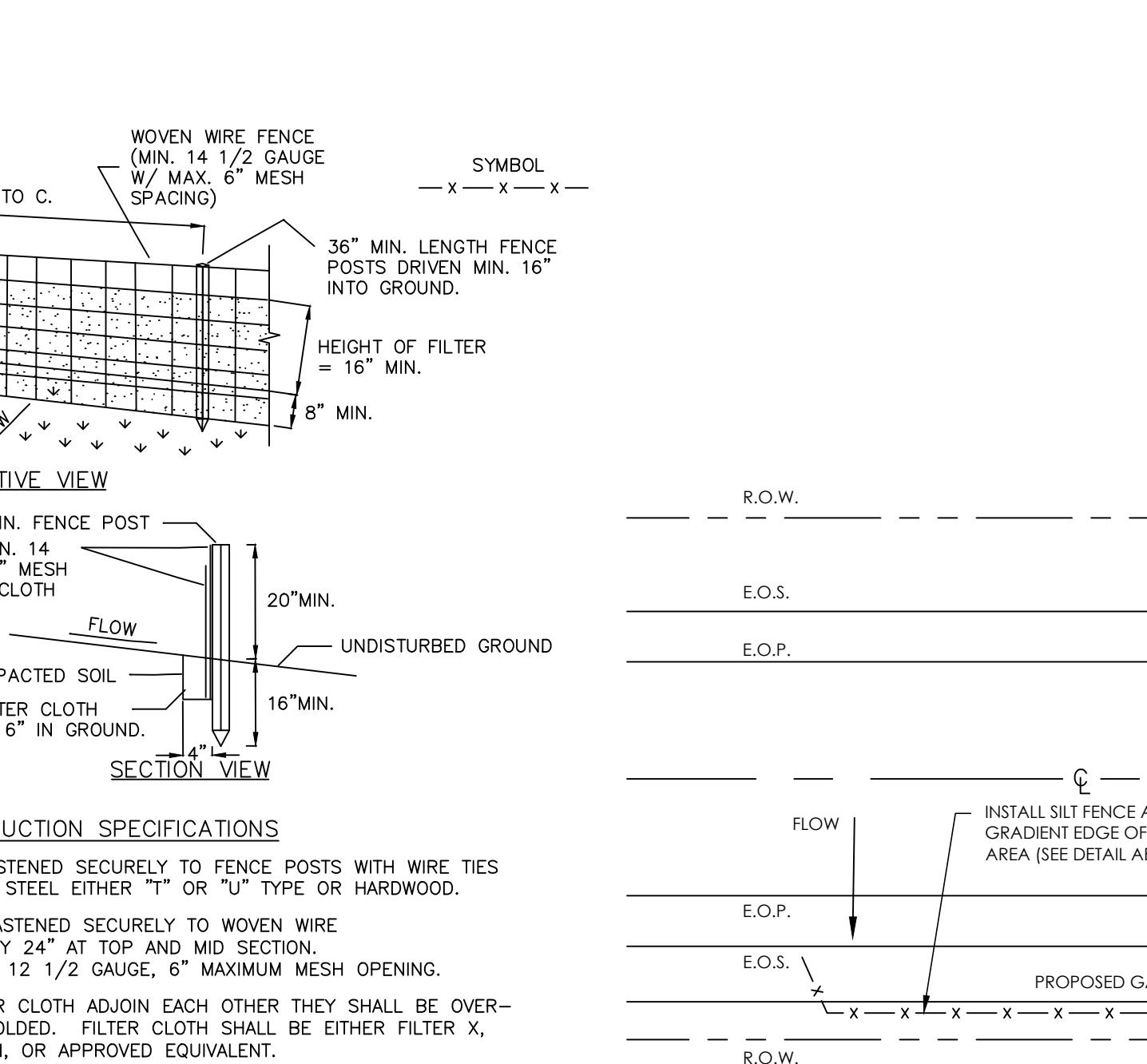


CONSTRUCTION SPECIFICATIONS

1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "T" OR "U" TYPE OR HARDWOOD.
2. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 12 1/2 GAUGE, 6" MAXIMUM MESH OPENING.
3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
4. PREFABRICATED UNITS SHALL BE GEOFAB, ENVIROFENCE, OR APPROVED EQUIVALENT.
5. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

SILT FENCE

NOT TO SCALE



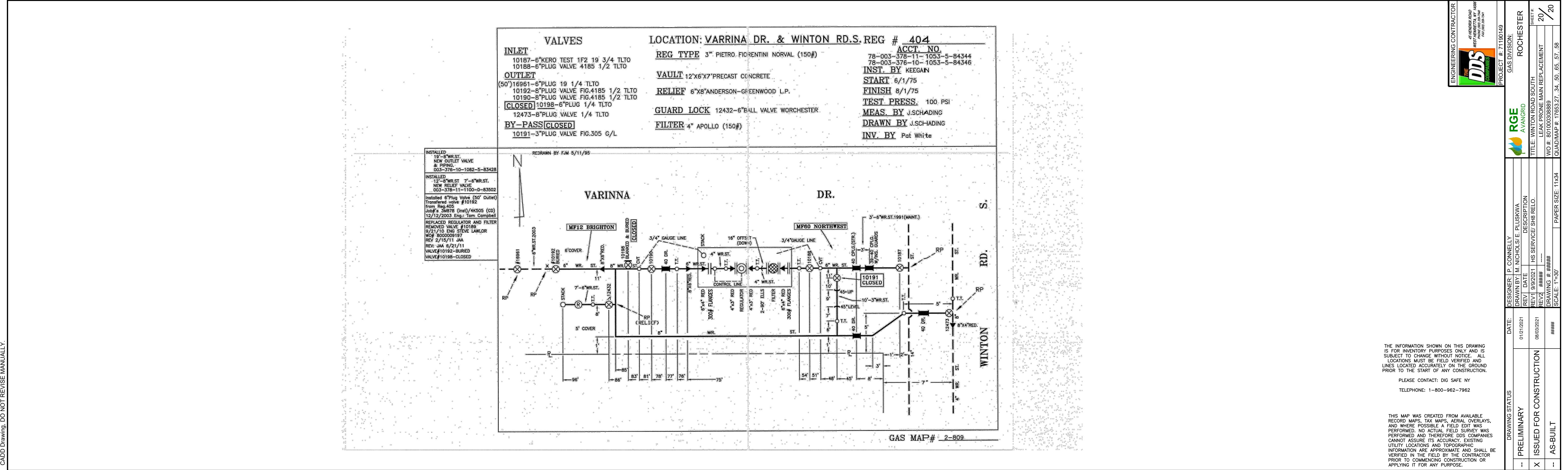
TYPICAL SILT FENCE INSTALLATION LAYOUT

NOT TO SCALE

DRAWING STATUS	DATE: 01/21/2021	DESIGNER: P. CONNELLY	OWNER: M. NICHOLSY, PLUM CVA	ISSUED FOR CONSTRUCTION: 08/03/2021	REV: 9/9/2021	US SERVICE/ SUB RELC.	DESCRIPTION: SIGHT	FILE #:	PHOTOGRAPHIC	PROJECT #: 71-19-14-9	ENGINEERING CONTRACTOR: THE DCS COMPANIES	ADDRESS: 43 PHENIX DR, PHOENIX, AZ 85024	PHONE: (480) 358-5241	FAX: (480) 358-5241	WEBSITE: THEDCS.COM	FILE #:	17/20
PRELIMINARY	DATE: 01/21/2021	DESIGNER: P. CONNELLY	OWNER: M. NICHOLSY, PLUM CVA	ISSUED FOR CONSTRUCTION: 08/03/2021	REV: 9/9/2021	US SERVICE/ SUB RELC.	DESCRIPTION: SIGHT	FILE #:	PHOTOGRAPHIC	PROJECT #: 71-19-14-9	ENGINEERING CONTRACTOR: THE DCS COMPANIES	ADDRESS: 43 PHENIX DR, PHOENIX, AZ 85024	PHONE: (480) 358-5241	FAX: (480) 358-5241	WEBSITE: THEDCS.COM	FILE #:	17/20
AS-BUILT	DATE: 01/21/2021	DESIGNER: P. CONNELLY	OWNER: M. NICHOLSY, PLUM CVA	ISSUED FOR CONSTRUCTION: 08/03/2021	REV: 9/9/2021	US SERVICE/ SUB RELC.	DESCRIPTION: SIGHT	FILE #:	PHOTOGRAPHIC	PROJECT #: 71-19-14-9	ENGINEERING CONTRACTOR: THE DCS COMPANIES	ADDRESS: 43 PHENIX DR, PHOENIX, AZ 85024	PHONE: (480) 358-5241	FAX: (480) 358-5241	WEBSITE: THEDCS.COM	FILE #:	17/20

THE INFORMATION SHOWN ON THIS DRAWING IS FOR INVENTORY PURPOSES ONLY AND IS SUBJECT TO CHANGE WITHOUT NOTICE. ALL LOCATIONS MUST BE FIELD VERIFIED AND LINES LOCATED ACCURATELY ON THE GROUND PRIOR TO THE START OF ANY CONSTRUCTION. PLEASE CONTACT DIGITAL SURVEYING INC. TELEPHONE: 800-962-7962

THIS MAP WAS CREATED FROM AVAILABLE RECORD MAPS, TAX MAPS, AERIAL OVERLAYS, AND WHERE POSSIBLE A FIELD EDIT WAS PERFORMED. NO ACTUAL FIELD SURVEY WAS PERFORMED AND THEREFORE THIS MAP IS NOT TO BE USED AS A SURVEY. EXISTING UTILITIES LOCATIONS AND TOPOGRAPHIC INFORMATION ARE APPROXIMATE AND SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO COMMENCING CONSTRUCTION OR APPLYING IT FOR ANY PURPOSE.



2021 Cannabis Local Law Amendment

LOCAL LAW # OF 2021
2021 CANNABIS LOCAL LAW AMENDMENT

Section 1. Title

This Local Law shall be known as the "**2021 CANNABIS LOCAL LAW AMENDMENT**" of the Town of Brighton, Monroe County, New York State.

Section 2. Purpose

The purpose of this Local Law is to clarify that the use of cannabis and cannabis products is to be treated the same as the use of tobacco, tobacco products, clove cigarettes and similar substances under the Town's Smoking and Vaping Local Law and thereby prohibited in Town parks and on Town property and the location of establishments for on-site consumption or sales of cannabis and cannabis products is to be regulated under the Town's Adult Use zoning provisions and thus zoned in accordance with Chapter 202 of the Town Code.

Section 3. Amendment of Chapter 156

The Definition of "Smoking" under Section 156-2 is hereby amended to read as follows (the words proposed to be added to the section are bold and underlined):

"Using lighted tobacco and tobacco products, clove cigarettes and similar substances, **cannabis and cannabis products**, including, without limitation, cigarettes, cigars and pipes.

Section 4. Amendment of Chapter 202

Section 202-1 - Title shall be amended to read as follows:

"This chapter shall be known as the 'Adult Use and Entertainment Establishments and E-Cigarette and/or Vapor Sales Establishments **and Cannabis Establishments** Regulation Law' of the Town of Brighton and shall amend the Comprehensive Development Regulations of the Town."

Section 202-2 - Legislative intent shall be amended to add a

reference to "cannabis establishments" as follows:
"It is the purpose of this chapter to regulate the creation, opening, commencement and/or operation of adult use and entertainment and e-cigarette and/or vapor sales establishments **and cannabis establishments**, as herein defined, in order to achieve the following:"

A new paragraph is added to Section 202-3 - Definitions as follows:

CANNABIS ESTABLISHMENT - A business establishment that includes whether as its primary use or as an ancillary use the on-site sale or consumption of cannabis or cannabis products as such are permitted and defined in the New York State Cannabis Law - Chapter 7-A of the Consolidated Laws of the State of New York.

Section 202-4 - Allowed zoning districts is amended by adding the term "cannabis establishment(s)" to the first sentence of Section 202-4 as follows:

" All adult use and entertainment establishments and e-cigarettes and/or vapor sales establishments **and cannabis establishments** as defined herein ..."

Section 202-5 - Location within allowed zoning districts is amended by adding the term "cannabis establishments" to the first sentence of Section 202-5(A), to subsection 202-5(A) (4), to subsection 202-5(A) (5) and to Section 202-5(B) as follows:

"A. Adult use and entertainment establishments and e-cigarette and/or vapor sales establishments **and cannabis establishments** shall be allowed only I the allowed zoning district ..."

"(4) On the same parcel as another adult use and entertainment establishment or e-cigarette and/or vapor sales establishment **or cannabis establishment; or**"

"(5) Within 1,000 feet of the property line of another adult use and entertainment establishment or e-cigarette and/or vapor sales establishment **or cannabis establishment** is located in the Town."

"B. The above distances of separation shall be measured form the nearest exterior wall of the portion of the structure containing the adult use and entertainment establishment or e-cigarette

and/or vapor sales establishment **or cannabis establishment."**

Section 5. Effective Date

This Local Law shall take effect immediately upon filing with the Secretary of State.

Section 6. Severability

If any clause, sentence, phrase, paragraph or any part of this Local Law shall for any reason be adjudicated finally by a court of competent jurisdiction to be invalid, such judgment shall not affect, impair or invalidate the remainder of this Local Law, but shall be confined in its operation and effect to the clause, sentence, phrase, paragraph or part thereof, directly involved in the controversy or action in which such judgment shall have been rendered. It is hereby declared to be the legislative intent that the remainder of this Local Law would have been adopted had any such provision been excluded.

Trees



Town of
Brighton

Building and Planning
Department

Commissioner of Public Works – Michael Guyon, P.E.

Rick DiStefano
Planner

October 13, 2021

Mike Guyon, Commissioner of Public Works
Town of Brighton
2300 Elmwood Avenue
Rochester, NY 14618

RE: Tree Removals

Dear Commissioner Guyon:

In response to your letter dated September 28, 2021, and attached tree evaluation forms regarding the proposed removal of town trees located at

44 St. Regis North	40" Silver maple
87 St. Regis North (1)	40" Silver maple
87 St. Regis North (2)	40" Silver maple
87 St. Regis North (3)	40" Silver maple
87 St. Regis North (4)	40" Silver maple
144 St. Regis North	50" Silver maple
197 Mayflower Dr. (St. Regis N frontage) (Not 188 Mayflower Dr.)	50" Silver maple

the Tree Council reviewed the forms and visited the sites. The Council is in agreement with the evaluations and supports the removal of the identified trees, and as recommended agrees replacement trees should be planted at the removal sights.

Sincerely,

A handwritten signature in blue ink, appearing to read "Rick DiStefano".

Rick DiStefano, Secretary
Brighton Tree Council

cc: Steve Zimmer